

**PROPOSED NEW CO-LIVING AT LOT 16 DP 1084067**  
**AT 61 & 63 BRADLEY STREET GOULBURN, NSW, 2580**

DWG #	REV #	TITLE OF DRAWING
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A-30	A	PROPOSED LANDSCAPE PLAN

ISSUED FOR  
DEVELOPMENT APPLICATION  
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	TITLE	DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	T.L.
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067	DRAWING SCALE		DRAWN BY	AH
A	DEVELOPMENT APPLICATION	06/12/2024	YARRABEE PROPERTY GROUP PTY LTD				AT SHEET SIZE	A3 SHEET	JOB NUMBER	0624-1688
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>		STREET ADDRESS	61 & 63 BRADLEY STREET GOULBURN	DRAWING IDENTIFICATION NUMBER	A-01	AMENDMENT ISSUE	A

PLAN SHOWING  
DETAIL SITE SURVEY  
OF LOT 16 IN  
D.P.1084067  
61-63 BRADLEY STREET  
GOULBURN

REFERENCE: 40288

LGA:  
GOULBURN MULWAREE

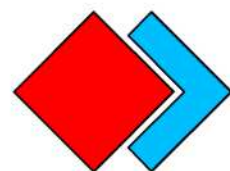
DATE: 05/07/2024

PLAN EDITION: A

PLAN NUMBER:  
40288-A-2024-07-05-SD

SCALE: 1:300

SHEET: 1 OF 1



**SRD**  
**LAND CONSULTING**

GOULBURN: 4823 5100 | YOUNG: 6382 1501  
THE LAND CONSULTANT SPECIALISTS  
WWW.SRDLAND.COM.AU

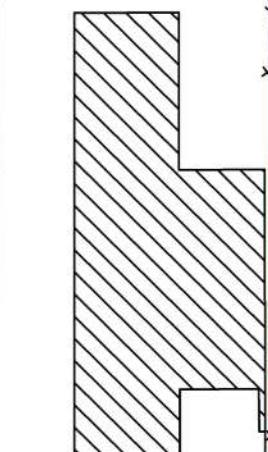
BOURKE STREET

13 D.P.1084575

1 D.P.742168

1 D.P.741762

1  
D.P.797925  
BRICK DWELLING  
No. 65 Bradley St  
(F 0.3)



No. 63  
Bradley St

No. 61  
Bradley St

FFL:641.15

FFL:641.1

EXISTING VERANDAH

WATER  
METER

WATER  
METER

TELSTRA PIT

HYDRANT

POWER POLE

NORTH STREET

NOT FENCED  
20.115 DEED

SEWER MAN HOLE

2  
D.P.224020

16  
D.P.1084067

1  
D.P.224020  
BRICK DWELLING  
No. 57 Bradley St

RIDGE HEIGHT:646.91

BRADLEY STREET

(A) FENCED OFF AREA CURRENTLY USED BY  
GOULBURN ENGINEERING, LOT 1 NORTH STREET.  
NO REGISTERED DEALINGS PRESENT





NCC & AUSTRALIAN STANDARDS COMPLIANCE NOTES

ALL BUILDING WORKS, SIGNAGE, FITTINGS & FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS1428.1. & BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONTRACTOR TO SHOW FULL COMPLIANCE WITH ALL CURRENT REQUIRED CODES, STANDARDS, LOCAL LEGISLTATION, BY-LAWS & PARTS OF THE NCC, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

NCC VOL 1 - SECTION A	GOVERNING REQUIREMENTS
NCC VOL 1 - SECTION B	STRUCTURE
NCC VOL 1 - SECTION C	FIRE RESISTANCE
NCC VOL 1 - SECTION D	ACCESS & EGRESS
NCC VOL 1 - SECTION E	SERVICES & EQUIPMENT
NCC VOL 1 - SECTION F	HEALTH & AMENITY
NCC VOL 1 - SECTION G	ANCILLARY PROVISIONS
NCC VOL 1 - SECTION I	SPECIAL USE BUILDINGS
NCC VOL 1 - SECTION J	ENERGY EFFICIENCY
NCC VOL 1 - SCHEDULE 3	COMMONWEALTH OF AUSTRALIA
NCC VOL 1 - SCHEDULE 4	AUSTRALIAN CAPITAL TERRITORY
NCC VOL 1 - SCHEDULE 5	NEW SOUTH WALES

VENTILATION IS REQUIRED TO ALL BUILDINGS TO MEET PART F6 OF THE NCC.

AS/NZS 1170.2 :2011	STRUCTURAL DESIGN ACTIONS - WIND ACTIONS
AS 1288 : 2006	GLASS IN BUILDING & NCC CLAUSE BP1.3
AS 1379 : 2007	SPECIFICATION & SUPPLY OF CONCRETE
AS 1562 : 2018	DESIGN & INSTALLATION OF SHEET ROOFING & WALL CLADDING
AS 1684.2 : 2010	TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREA - N1/N2 SUPPLEMENT 1: TIMBER FRAMING SPAN TABLES - WIND CLASSIFICATION N1/N2- SEASONED SOFTWOOD - STRESS GRADE F5 (SUPPLEMENT TO AS 1684.2 : 2010)
AS 1668.1 : 2015	THE USE OF VENTILATION & AIR CONDITIONING IN BUILDINGS, PART 1 : FIRE & SMOKE CONTROL IN BUILDINGS
AS 1668.2 : 2012	THE USE OF VENTILATION & AIR-CONDITIONING IN BUILDINGS, PART 2 : MECHANICAL VENTILATION IN BUILDINGS
AS 2047 : 2014	GLAZING ASSEMBLIES & NCC BP1.3 & F1.13
AS 2436 : 2010	GUIDE TO NOISE & VIBRATION CONTROL ON CONSTRUCTION, DEMOLITION & MAINTENANCE SITES
AS/NZS 2589 : 2017	GYPSUM LININGS - APPLICATIONS & FINISING
AS/NZS 2904 : 1995	DAMP-PROOF COURSES & FLASHINGS
AS/NZS 3000 : 2018	ELECTRICAL INSTALLATIONS / WIRING
AS/NZS 3008 : 2017	ELECTRICAL INSTALLATIONS
AS/NZS 3012 : 2010	ELECTRICAL INSTALLATIONS - CONSTRUCTION & DEMOLITION SITES
AS/NZS 3500.3 : 2015	PLUMBING & DRAINAGE - STORMWATE DRAINAGE
AS 3600 : 2018	CONCRETE STRUCTURES
AS 3610.1 : 2018	FORMWORK FOR CONCRETE SPECIFICATIONS
AS 3660.1 : 2014	TERMITE MANAGEMENT PART 1 : NEW BUILDING WORK
AS 3660.2 : 2017	TERMITE MANAGEMENT PART 2 : IN & AROUND EXISTING BUILDINGS & STRUCTURES
AS 3666.1 : 2011	AIR HANDLING & WATER SYSTEMS OF BUILDING MICROBIAL CONTROL
AS 3700 : 2018	MASONRY STRUCTURES
AS 3740 : 2021	WATERPROOFING OF DOMESTIC WET AREAS & NCC PART F1.7
AS 3786 : 2014	SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION
AS 4349 : 2007	INSPECTION OF BUILDINGS

NCC & AUSTRALIAN STANDARDS COMPLIANCE NOTES

AS/NZS 4654 : 2012	WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE- GROUND USE
AS 4647 : 2004	DESIGN, CONSTRUCTION & FIT-OUT OF FOOD PREMISES
AS/NZS 4671 : 2019	STEEL FOR THE REINFORCEMENT OF CONCRETE
AS 5104 : 2017	GENERAL PRINCIPLES ON RELIABILITY FOR STRUCTURES

SCHEDULE OF FIRE SAFETY MEASURES	
EMERGENCY LIGHTING	NCC PART E4D2, E4D4 AS 2293.1
FIRE HYDRANTS	NCC PART E1D2, AS 2419.1
FIRE HOSE REELS	NCC PART E1D3, AS 2441
EXIT SIGNS	NCC PART E4D5, E4D6, E4D8, AS/NZS 2293.1
PORTABLE FIRE EXTINGUISHERS	NCC PART E1D14, AS 2444
FIRE BLANKETS	NCC PART E1D14, AS 2444
EXIT DOORS	NCC PART D3, INC. D3D24, D3D25, D3D26, D3D28
NOTE : EMERGENCY DOORS TO REMAIN CLEAR AT ALL TIMES.	

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

INGRESS TO AND EGRESS FROM THE SITE, CAR PARKING AND ACCESS, DRIVEWAYS WIDTHS, TURNING CIRCLES AND THE DIMENSIONS OF ALL LOADING BAYS MUST BE DESIGNED IN ACCORDANCE WITH :

- AS/NZS 2890.1:2004, PARKING FACILITIES, PART 1 : OFF-STREET CAR PARKING
- AS 2890.2:2018, PARKING FACILITIES, PART 2 : OFF-STREET COMMERCIAL VEHICLE FACILITIES
- AS 2890.3:2015, PARKING FACILITIES, PART 3 : BICYCLE PARKING
- AS 2890.5:2020, PARKING FACILITIES, PART 5 : ON-STREET PARKING
- AS 2890.6:2009, PARKING FACILITIES, PART 6 : OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES
- RMS AUSTRALIAN STANDARD SUPPLEMENTS
- GUIDE TO TRAFFIC GENERATING DEVELOPMENTS, VERSION 2.2 BY RTA OCT 2002
- GOULBURN MULWAREE COUNCIL DCP OR LOCAL COUNCIL DCP

ASBESTOS REMOVAL COMPLIANCE NOTES (IF FOUND):

IF & WHEN ASBESTOS IS FOUND, WORK IS TO STOP IMMEDIATELY & A LICENSED ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE THE ASBESTOS.

THE ASSESSMENT, REMOVAL & DISPOSAL OF ASBESTOS TO MEET ALL AUSTRALIAN STANDARDS, NCC (BCA) REQUIREMENTS & "HOW TO SAFELY REMOVE ASBESTOS - CODE OF PRACTICE" APRIL 2016 BY SAFE WORK AUSTRALIA, APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE "WORK HEALTH & SAFETY ACT" (THE WHS ACT) & THE "WORK HEALTH & SAFETY REGULATIONS" (THE WHS REGULATIONS).

THE REMOVAL OF ASBESTOS IS TO BE ACCESSED & CARRIED OUT BY A LICENSED ASBESTOS REMOVALIST WHO IS APPROPRIATELY LICENSED TO CARRY OUT THE SCOPE OF WORKS.

THE LICENSED ASBESTOS REMOVALIST MUST PREPARE AN ASBESTOS REMOVAL CONTROL PLAN FOR ANY LICENSED ASBESTOS REMOVAL WORK THEY ARE COMMISSIONED TO CARRY OUT. THE ASBESTOS REMOVAL CONTROL PLAN TO BE PREPARED PRIOR TO COMMENCEMENT OF WORKS.

DURING THE REMOVAL & DISPOSAL OF THE ASBESTOS, THE LICENSED ASBESTOS REMOVALIST IS TO ENSURE DECONTAMINATION FACILITIES, WASTE CONTAINMENT & DISPOSAL METHODS MEET THE ABOVE-MENTIONED RULES & REGULATIONS.

IF ASBESTOS CONTAMINATED SOIL IS DISCOVERED DURING WORKS & EXCAVATION ONSITE, ALL WORK IS TO CEASE IMMEDIATELY. THE LICENSED ASBESTOS REMOVALIST IS TO BE CONTACTED IMMEDIATELY & AWAIT THEIR INSTRUCTIONS.

COMPLIANCE NOTES:

ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3rd PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORKS. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.

COMPLIANCE NOTES:

SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.

IF ALTERNATIVE MATERIAL OR PRODUCT IS PROPOSED TO THAT SPECIFIED, THE BUILDER MUST PROVIDE EVIDENCE SHOWING COMPLIANCE WITH THE BCA AND ALL RELEVANT STANDARDS RELATING TO THE APPLICATION OF THE PROPOSED MATERIAL. FURTHER THE ARCHITECT ACCEPTS NO LIABILITY OR INDEMNITY FOR THE SUBSTITUTION OF A MATERIAL CONTRARY TO THAT SPECIFIED BY THE ARCHITECT WITHOUT THE PROVISION OF WRITTEN DOCUMENTATION SHOWING COMPLIANCE WITH THE BCA AND AUSTRALIAN STANDARDS AND THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.

COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.

TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.

ALL WORK TO BE CARRIED OUT BY COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.

PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.

GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

TERMITE CONTROL TO ALL AREAS AS REQUIRED BY AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786.

ALL WALLS TO BE WRAPPED IN ENVIROSEAL COMMERCIAL WALL WRAP. ALL JOINTS TO BE LAPPED MIN. 300mm AND TAPED. FIX TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF KITCHENS 5 Ls/m<sup>2</sup> & CHANGEROOMS 5 Ls/m<sup>2</sup> TO AS 4674 & AS 1668.2.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. REFER TO MECHANICAL DETAILS.

MECHANICAL VENTILATION & LIGHTING TO MEET NCC PART F4.

ONCE WINDOWS ARE INSTALLED, CONTRACTOR TO SEAL WINDOW PERIMETERS WITH EXPANDING FOAM FILLER FIRE RETARDANT TO GIVE FULLY AIR-TIGHT SEAL AGAINST FRAME. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. INSTALL OVER ENVIROSEAL COMMERCIAL WALL WRAP. LAP & TAPE ALL JOINTS & FRAME PENETRATIONS TO ENSURE AN AIRTIGHT BUILDING SEAL.

COMPLIANCE NOTES:

SITE PREPARATION SHALL BE CARRIED OUT IN ACCORDANCE WITH ENGINEER'S DETAILS.

LIFT OFF HINGES TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARDS.

ALL FIRST FLOOR WINDOWS TO HAVE A CHILD RESTRICTIVE OPENING DEVICE TO PREVENT THEM OPENING MORE THAN 120mm TO MEET NCC D2.24. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL PAINT FINISHES (EXTERNAL AND INTERNAL) TO BE LEVEL 4 PAINT FINISH (MIN. 4 COATS), SEAL COAT, UNDERCOAT, 2 x TOP COATS.

ALL PLASTERING TO A MINIMUM LEVEL 4 FINISH. ALL PLASTER FINISH WHERE USING SATIN & LOW SHEEN PAINTING FINISH TO BE A LEVEL 4 FINISH. ALL PLASTER PAINTING WHERE USING GLOSS OR SEMI GLOSS PAINTING FINISH TO BE A LEVEL 5 FINISH

ALL EXTERNALLY LOCATED MANUFACTURED TIMBER PRODUCTS PROTECTED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

WET AREAS COMPLIANCE NOTES

WET AREAS SHOWN HATCHED, LAY NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 SLIP RATING ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AS 3740.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLEBOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS REQUIREMENTS FOR ALL WATERPROOFING SYSTEMS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING COMPLIANCE NOTES

TLING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

FOOD PREMISES DESIGNED & INSTALLED TO MEET:

FOOD SAFETY STANDARDS

- 3.1.1 INTERPRETATIONS & APPLICATION
- 3.2.1 FOOD SAFETY PROGRAMS
- 3.2.2 FOOD SAFETY PRACTICES & GENERAL REQUIREMENTS
- 3.2.3 FOOD PREMISES & EQUIPMENT
- 3.3.1 FOOD SAFETY PROGRAMS FOR FOOD SERVICE TO VUNERABLE PERSONS
- AS4674-2004 DESIGN, CONSTRUCTION & FIT-OUT OF FOOD PREMISES
- FOOD ACT 2003, AS1428.1. & NCC
- GMC - FOOD PREMISES DESIGN, CONSTRUCTION & FIT-OUT GUIDE

CANTEEN FITOUT NOTES :

CONTRACTOR TO HAVE MANUFACTURER'S REPRESENTATIVE ONSITE PRIOR TO SUBMISSION OF PROPOSED DESIGN, TO VERIFY EQUIPMENT CHOICE & PROPOSED INSTALLATION.

CONTRACTOR TO HAVE MANUFACTURER'S REPRESENTATIVE CERTIFY ALL INSTALLATIONS.

CONTRACTOR TO PROVIDE 3No. MAINTENANCE MANUALS CONTAINING ALL RELEVANT LITERATURE, COPIES OF ALL CERTIFICATES, WARRENTIES & APPROVALS RELATING TO THE WORKS.

ALL DESIGN WORK & SHOP DRAWINGS TO BE SUBMITTED TO THE ARCHITECT & TO RELEVANT LOCAL AUTHORITIES PRIOR TO COMMENCING ANY WORKS.

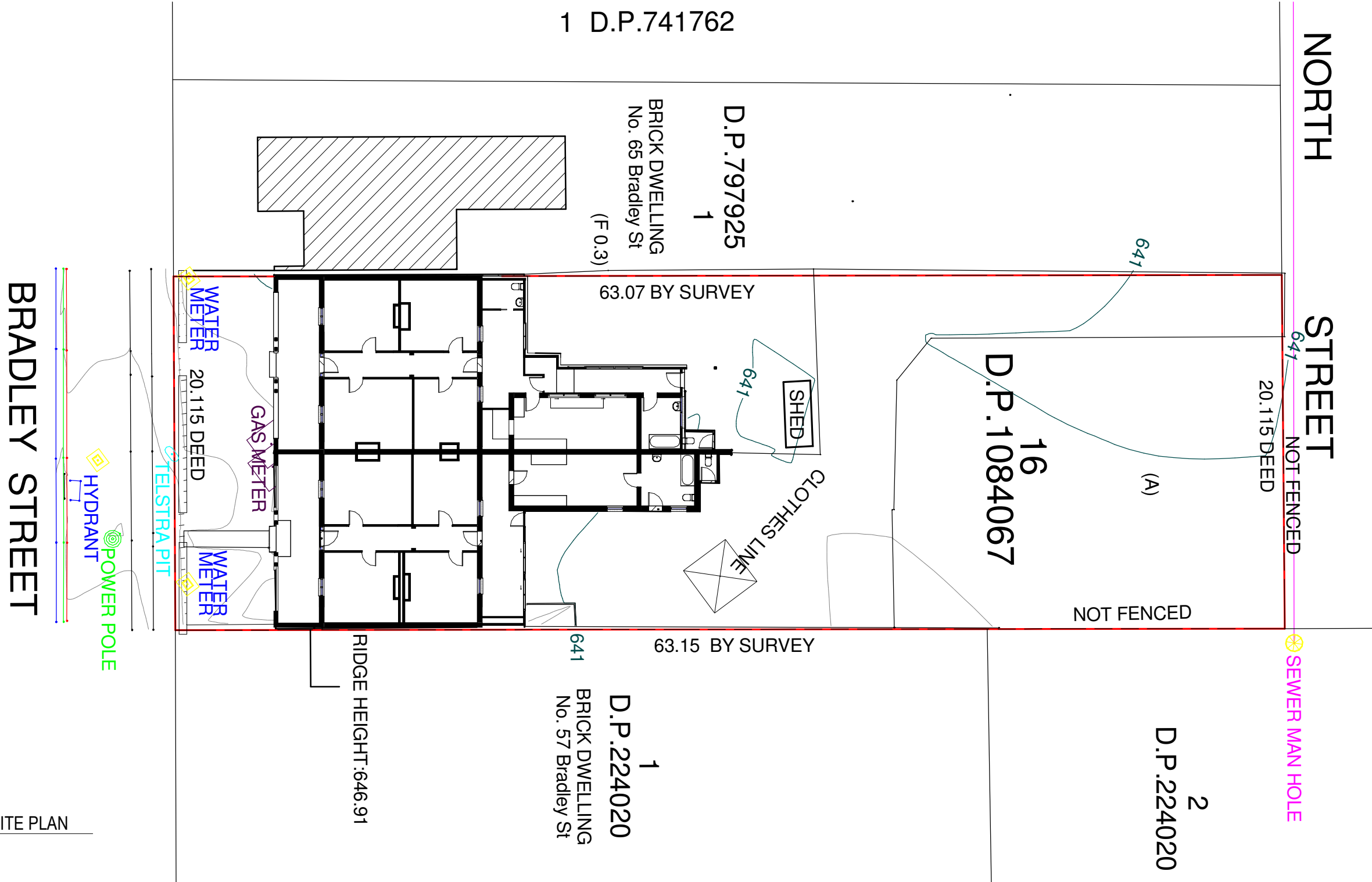
ALL EQUIPMENT, FITTINGS & FIXTURES TO BE INSTALLED BY THE CONTRACTOR ARE TO BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS, FULLY COMMISSIONED & CONNECTED TO ALL RELEVANT SERVICES.

CONTRACTOR TO BE TO PROVIDE 3No. SETS OF AS CONSTRUCTED DRAWINGS.

ANTI-ROTATION PINS TO ALL TAPWARE & FITTINGS.

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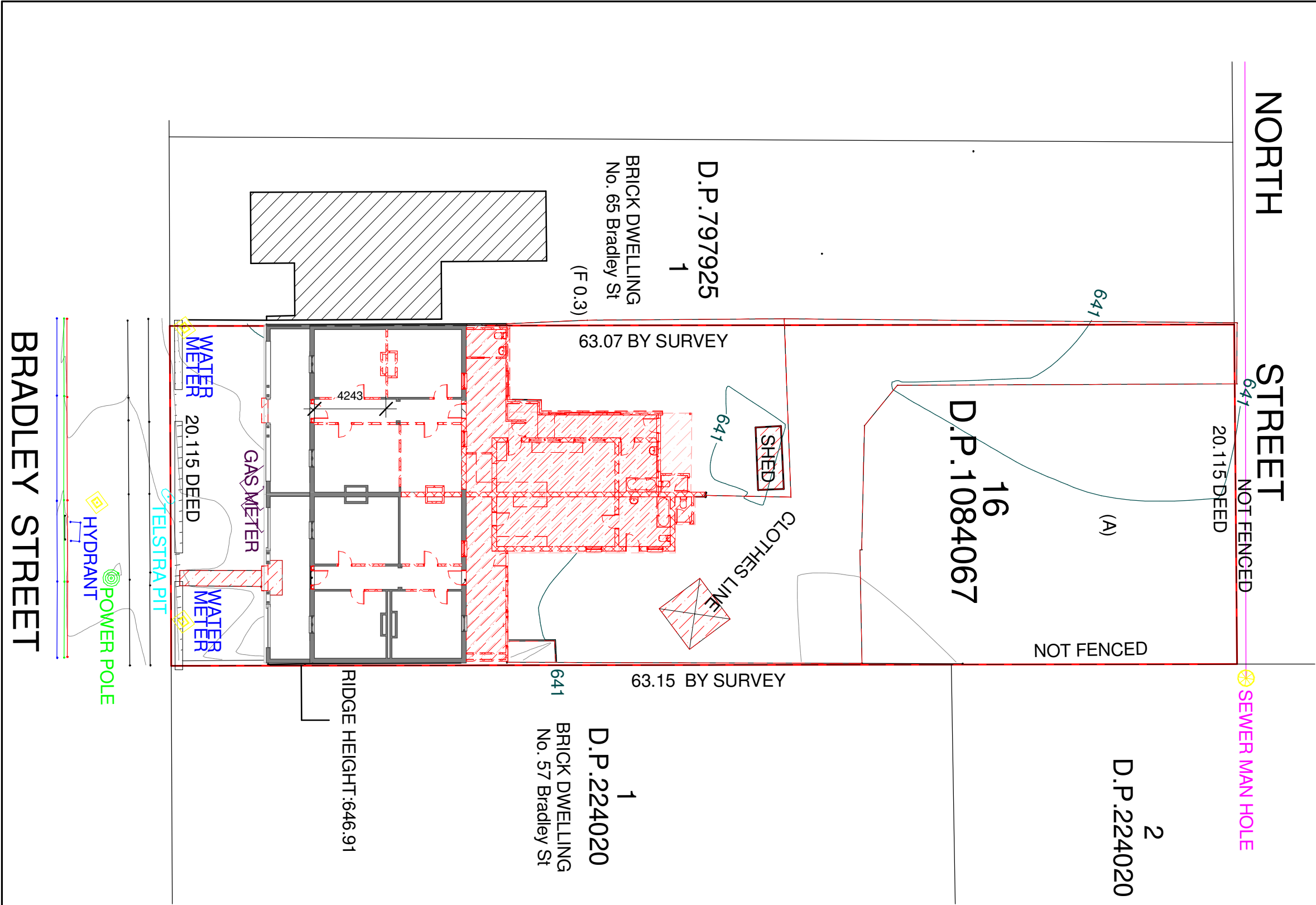


1 EXISTING SITE PLAN  
1 : 250 @ A3

EXISTING FLOOR AREA	367.69 m <sup>2</sup>
SITE AREA	1269.55 m <sup>2</sup>

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**NOT FOR CONSTRUCTION**

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						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						A-04	A	



EXISTING

DEMOLISHED

PROPOSED

- DEMOLITION:**
- ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
  - DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES. CARE TO BE TAKEN BELOW SLAB LEVEL.
  - LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
  - ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE STANDARD OF THE ORIGINAL
  - IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
  - PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
  - PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
  - THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
  - ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
  - CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED.

1

DEMOLITION SITE PLAN

1 : 250 @ A3

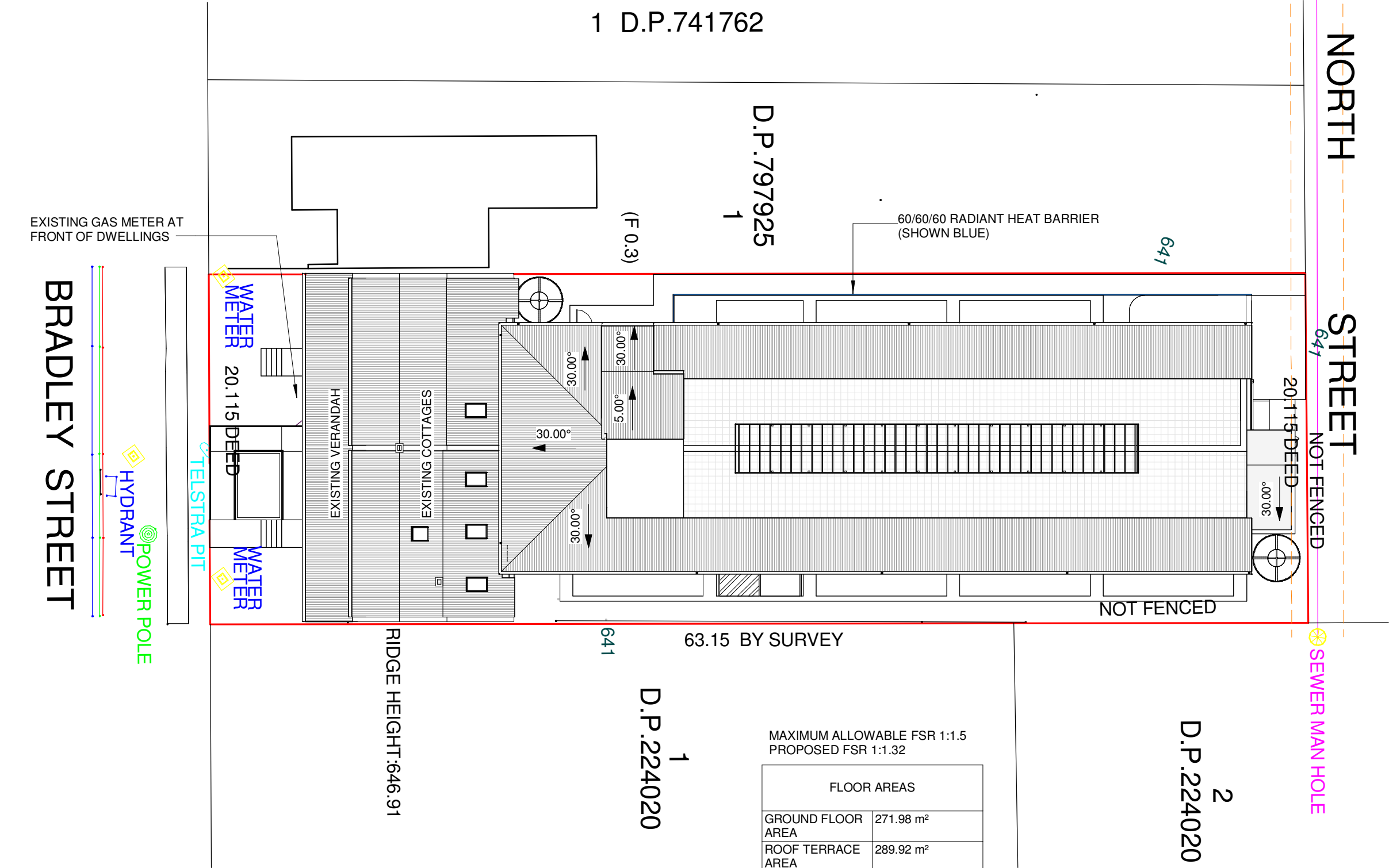
ISSUED FOR

DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	BRADLEY ST REDEVELOPMENT		DEMOLITION SITE PLAN	07/24	TL	
A	DEVELOPMENT APPLICATION	06/12/2024	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY	
			YARRABEE PROPERTY GROUP PTY LTD		LOT 16 DP 1084067	As indicated	AH	
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>		STREET ADDRESS	AT SHEET SIZE	JOB NUMBER	
					61 & 63 BRADLEY STREET GOULBURN	A3 SHEET	0624-1688	
				DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE			
				A-05	A			





1 PROPOSED SITE PLAN  
1 : 250 @ A3

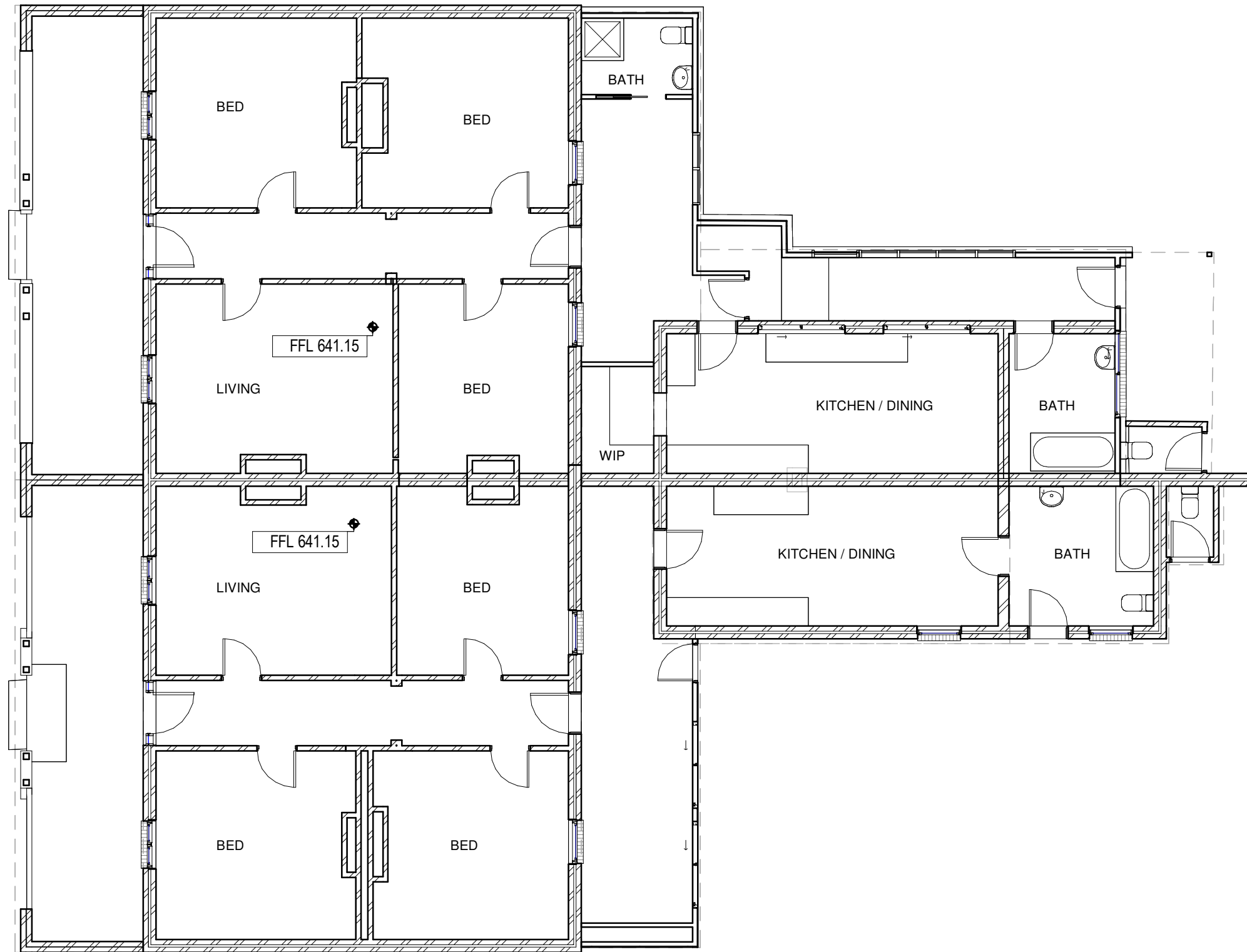
MAXIMUM ALLOWABLE FSR 1:1.5  
PROPOSED FSR 1:1.32

FLOOR AREAS	
GROUND FLOOR AREA	271.98 m <sup>2</sup>
ROOF TERRACE AREA	289.92 m <sup>2</sup>
FIRST FLOOR AREA	577.33 m <sup>2</sup>
SECOND FLOOR AREA	577.33 m <sup>2</sup>
TOTAL FLOOR AREA	1716.56 m <sup>2</sup>



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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	PROPOSED SITE PLAN		DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	T.L.
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 06/12/2024	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067	DRAWING SCALE	1 : 250	DRAWN BY	AH	
							AT SHEET SIZE	A3 SHEET	JOB NUMBER	0624-1688	
					STREET ADDRESS	61 & 63 BRADLEY STREET GOULBURN	DRAWING IDENTIFICATION NUMBER	A-06 <th>AMENDMENT ISSUE</th> <td>A</td>	AMENDMENT ISSUE	A	
			<div><div><div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div></div><div>C</div></div>								

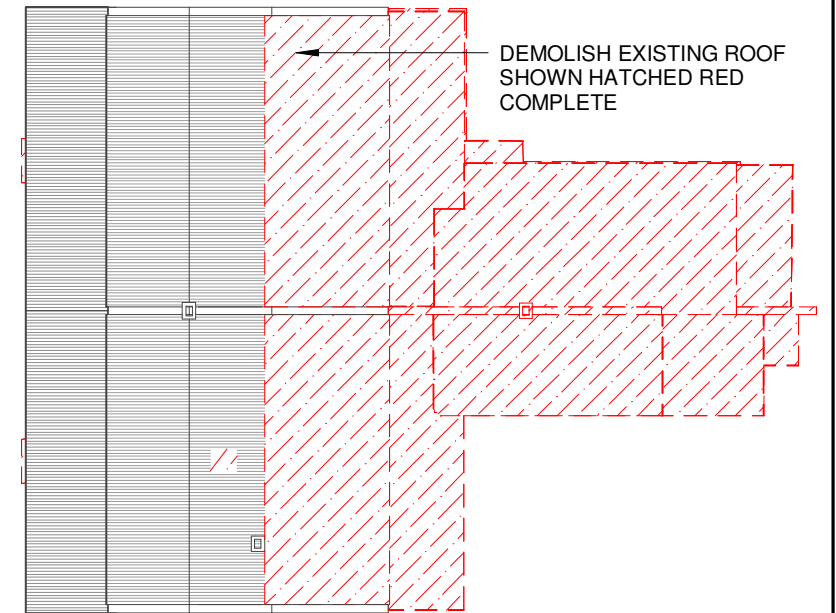
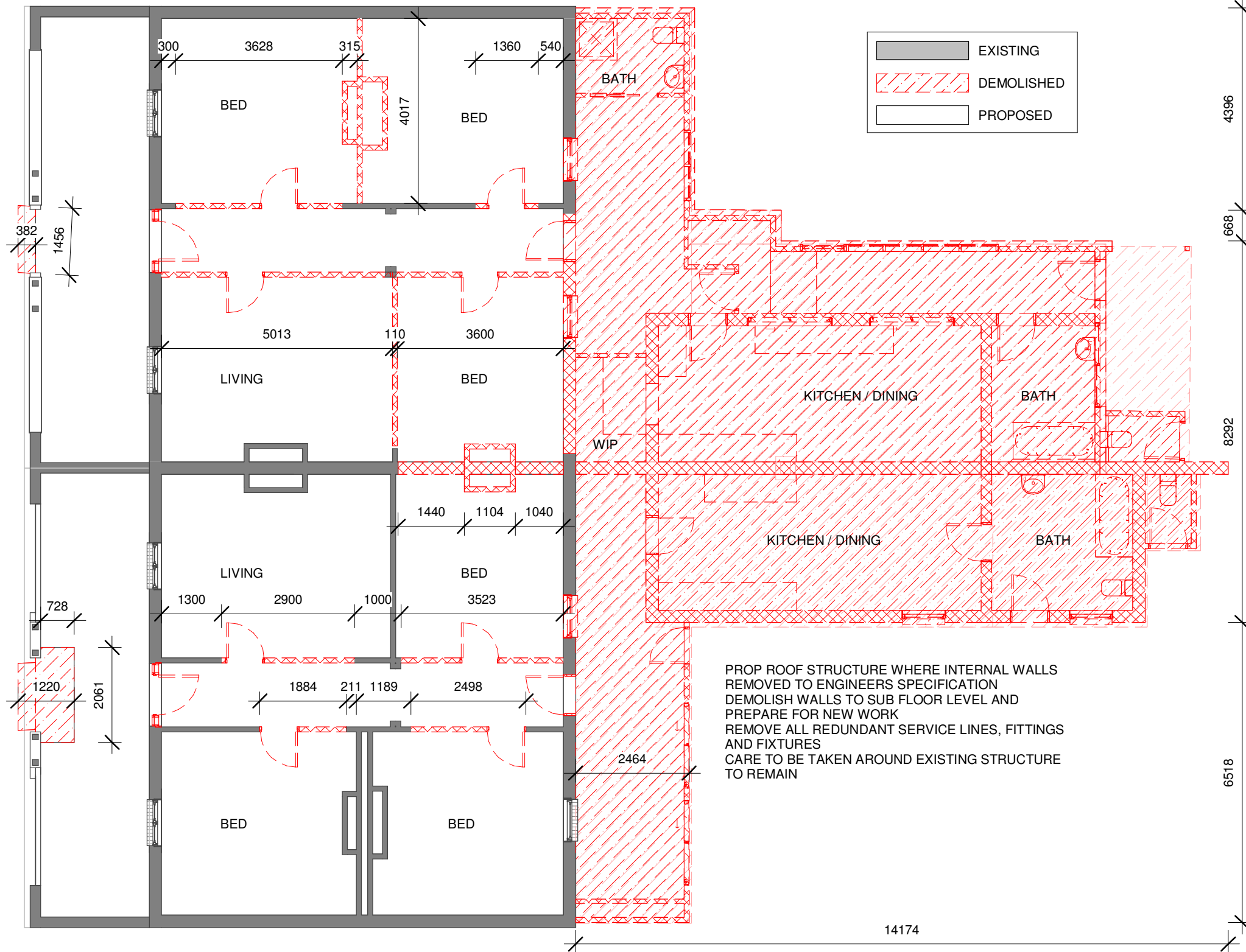


1 EXISTING FLOOR PLAN  
1 : 100 @ A3



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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div><div>C</div></div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		EXISTING FLOOR PLAN	07/24	TL
			YARRABEE PROPERTY GROUP PTY LTD		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		LOT 16 DP 1084067	1 : 100	AH
				STREET ADDRESS	AT SHEET SIZE	JOB NUMBER	
				61 & 63 BRADLEY STREET GOULBURN	A3 SHEET	0624-1688	
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					A-07	A	

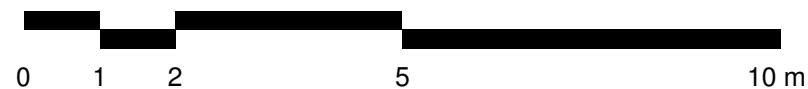


**2** DEMOLITION ROOF PLAN  
1 : 250 @ A3

**DEMOLITION:**

- ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES. CARE TO BE TAKEN BELOW SLAB LEVEL.
- LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE STANDARD OF THE ORIGINAL
- IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED.

**1** DEMOLITION FLOOR PLAN  
1 : 100 @ A3



DRAWING AMENDMENTS			PROJECT TITLE BRADLEY ST REDEVELOPMENT		<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div><div><div></div><div></div></div></div>	DRAWING TITLE DEMOLITION FLOOR PLAN		DRAWING COMMENCED 07/24	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 06/12/2024	CLIENT YARRABEE PROPERTY GROUP PTY LTD			LOT AND DEPOSITED PLAN NO. LOT 16 DP 1084067		DRAWING SCALE As indicated	DRAWN BY AH
<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>						STREET ADDRESS 61 & 63 BRADLEY STREET GOULBURN		AT SHEET SIZE A3 SHEET	JOB NUMBER 0624-1688
								DRAWING IDENTIFICATION NUMBER A-08	AMENDMENT ISSUE A



## TANK SPECIFICATION IN ACCORDANCE WITH HYDRAULIC ENGINEERS REPORT

- BOUNDARY LINE SHOWN DASHED  
UNISEX ACCESSIBLE TOILET ———  
FEMALE AMBULANT TOILET ———  
MALE AMBULANT TOILET ———

60/60/60 RADIANT HEAT BARRIER  
(SHOWN BLUE)

EMERGENCY EGRESS

3x EV CHARGING POINTS

- 2x1100| BINS

— ACCESS

60/60/60 RADIANT HEAT BARRIER  
(SHOWN BLUE)

RL 641.15
-----------

FACE BRICK (270mm DOUBLE BRICK,  
CONSTRUCTION) FRL 180/180/180

FLOOR AREAS	
GROUND FLOOR AREA	271.98 m <sup>2</sup>
ROOF TERRACE AREA	289.92 m <sup>2</sup>
FIRST FLOOR AREA	577.33 m <sup>2</sup>
SECOND FLOOR AREA	577.33 m <sup>2</sup>
TOTAL FLOOR AREA	1716.56 m <sup>2</sup>

1 GROUND FLOOR PLAN  
1 : 200 @ A3

2 DETAIL WET AREA PLAN  
1 : 100 @ A3

## PLAN

## SECTION AA

### ELEVATION

ISSUED FOR  
DEVELOPMENT APPLICATION  
**NOT FOR CONSTRUCTION**

## DRAWING AMENDMENTS

PROJECT TITLE
---------------

BRADLEY ST REDEVELOPMENT

CLIENT

YARRABEE PROPERTY GROUP PTY LTD

Figured dimensions take precedence. Do not scale drawings.  
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**+L TIM LEE**  
**^ ARCHITECTS**  
residential commercial industrial

P: 02 4822 5934  
ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580

NOMINATED ARCHITECT:  
TIM LEE  
NSW REG: 7304  
ACT REG: 1030

	DRAWING TITLE
--	---------------

### GROUND FLOOR PLAN

LOT AND DEPOSITED PLAN NO.

LOT 16 DP 1084067

STREET ADDRESS

61 &amp; 63 BRADLEY STREET GOULBURN

	DRAWING COMMENCED
--	-------------------

07/24

	DRAWING SCALE
--	---------------

As indicated

AT SHEET SIZE

**A3 SHEET**

	DRAWING IDENTIFICATION NUMBER
--	-------------------------------

DRAWING VERIFIED BY
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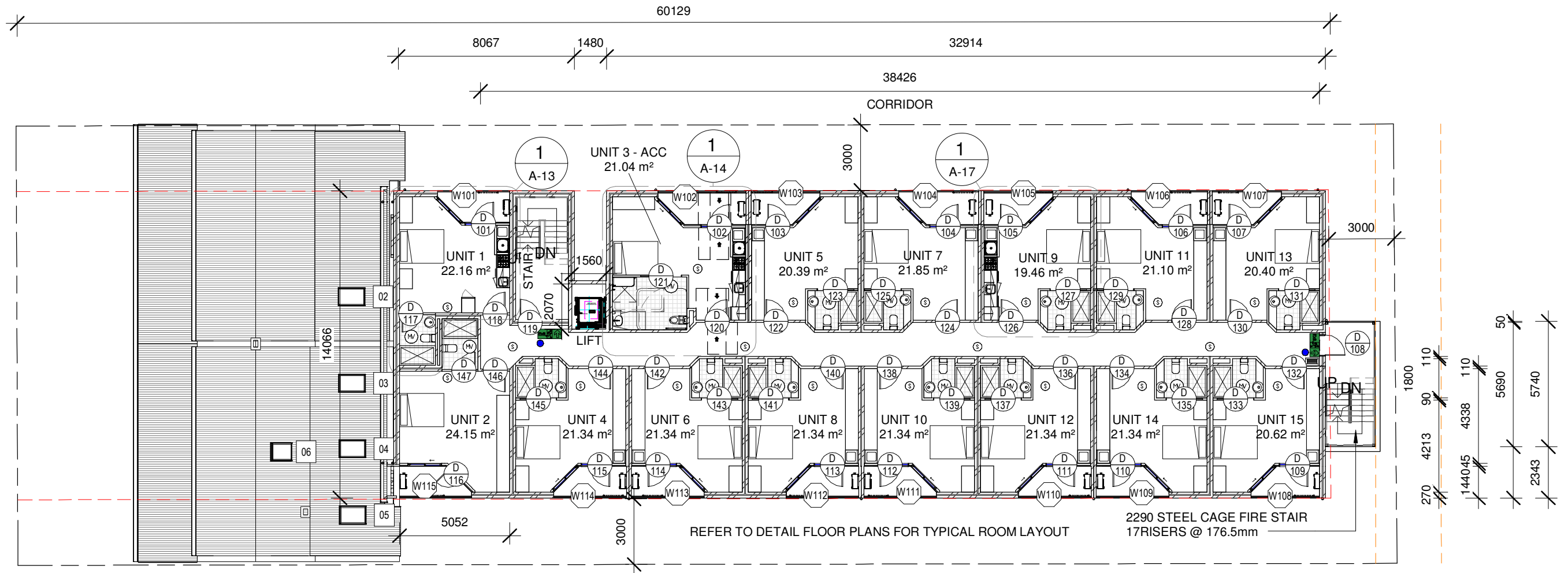
T.L.

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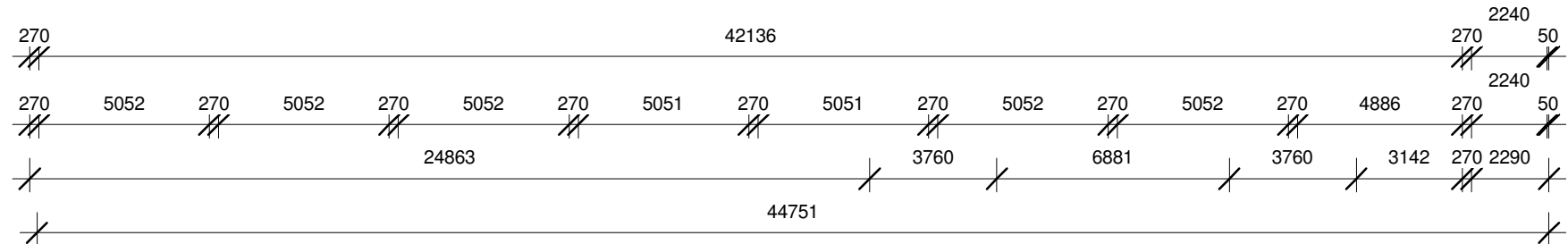
JOB NUMBER  
0624-1688

AMENDMENT ISSUE

A



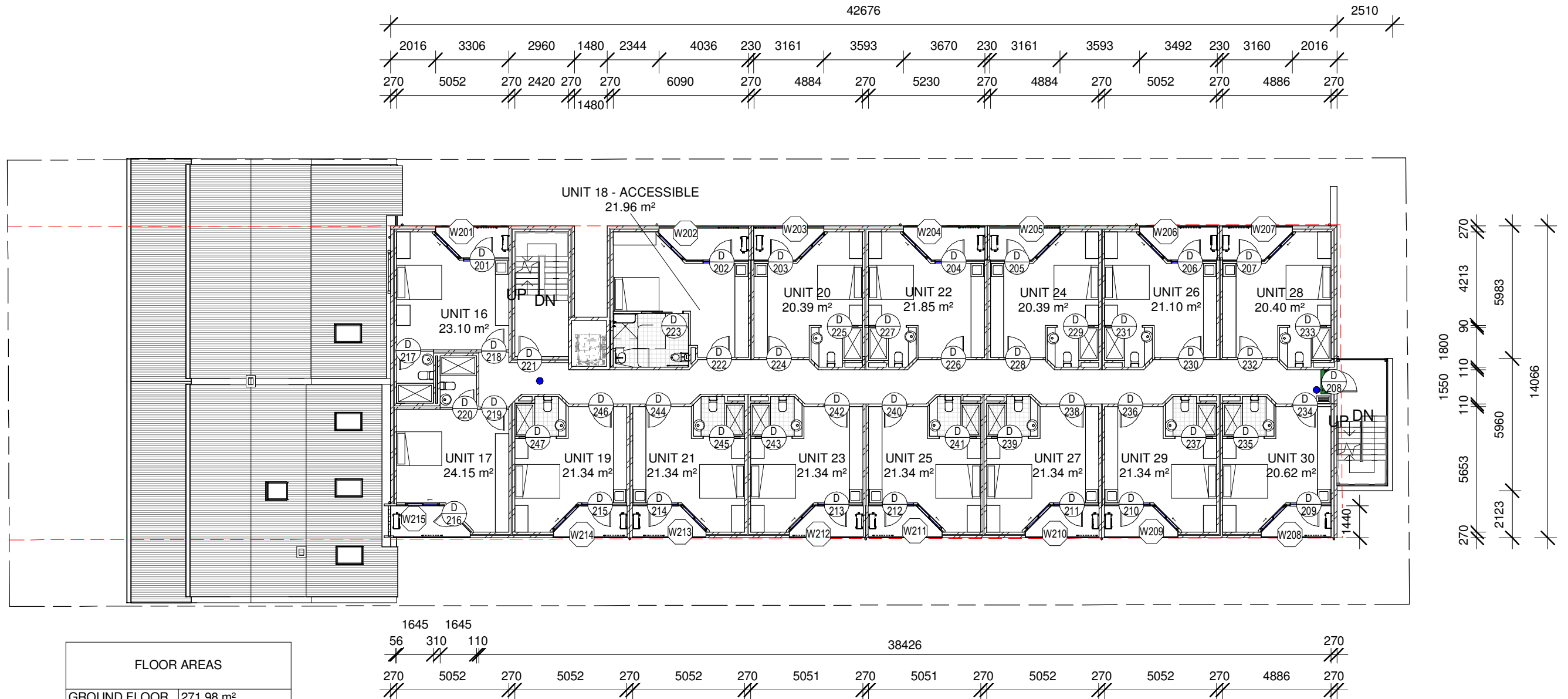
FLOOR AREAS	
GROUND FLOOR AREA	271.98 m²
ROOF TERRACE AREA	289.92 m²
FIRST FLOOR AREA	577.33 m²
SECOND FLOOR AREA	577.33 m²
TOTAL FLOOR AREA	1716.56 m²



1 FIRST FLOOR PLAN  
1 : 200 @ A3

ISSUED FOR  
DEVELOPMENT APPLICATION  
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE BRADLEY ST REDEVELOPMENT		<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE FIRST FLOOR PLAN		DRAWING COMMENCED 07/24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 06/12/2024	CLIENT YARRABEE PROPERTY GROUP PTY LTD			LOT AND DEPOSITED PLAN NO. LOT 16 DP 1084067		DRAWING SCALE 1 : 200		DRAWN BY AH	
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.					AT SHEET SIZE A3 SHEET		JOB NUMBER 0624-1688	
						STREET ADDRESS 61 & 63 BRADLEY STREET GOULBURN		DRAWING IDENTIFICATION NUMBER A-10		AMENDMENT ISSUE A	



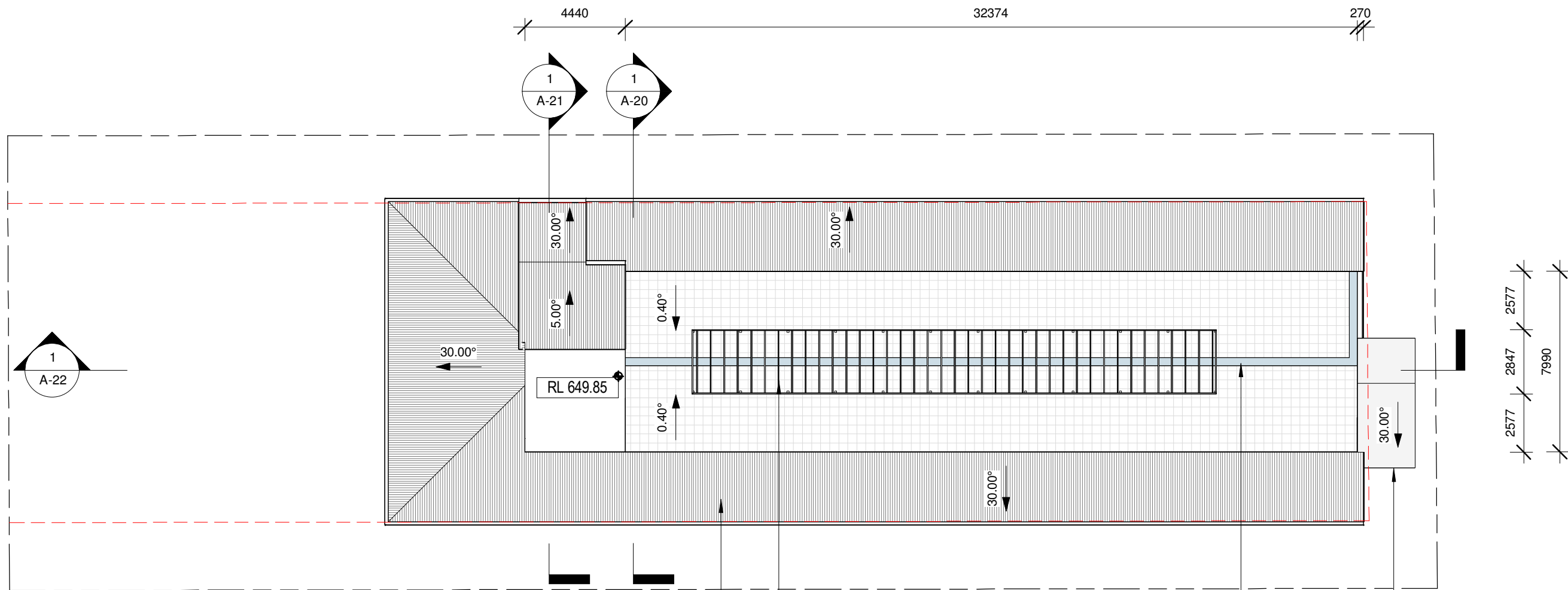
FLOOR AREAS	
GROUND FLOOR AREA	271.98 m²
ROOF TERRACE AREA	289.92 m²
FIRST FLOOR AREA	577.33 m²
SECOND FLOOR AREA	577.33 m²
TOTAL FLOOR AREA	1716.56 m²

1 SECOND FLOOR PLAN  
1 : 200 @ A3

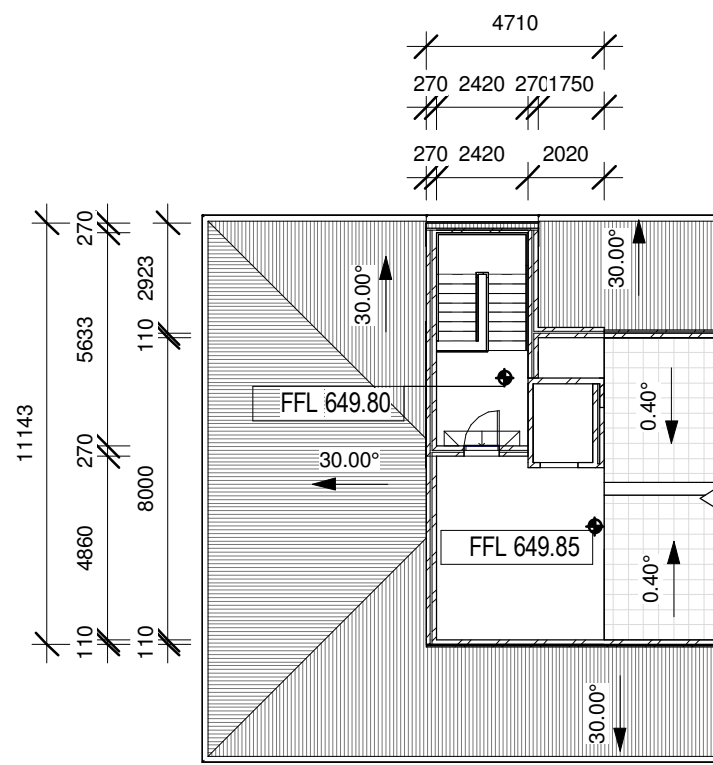


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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div><div><div>C</div></div></div>	DRAWING TITLE	SECOND LEVEL FLOOR PLAN		DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	T.L.
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067		DRAWING SCALE	1 : 200	DRAWN BY	AH
A	DEVELOPMENT APPLICATION	06/12/2024	YARRABEE PROPERTY GROUP PTY LTD		STREET ADDRESS			61 & 63 BRADLEY STREET GOULBURN	AT SHEET SIZE	A3 SHEET	JOB NUMBER
			<div><div>Figured dimensions take precedence. Do not scale drawings.</div><div>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.</div><div>COPYRIGHT TIM LEE ARCHITECTS</div><div>Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div></div>				DRAWING IDENTIFICATION NUMBER	A-11	AMENDMENT ISSUE	A	



1 ROOF TOP TERRACE AREA  
1 : 200 @ A3



2 ROOF TOP LANDING PLAN  
1 : 200 @ A3

TIMBER PERGOLA OPEN TO SKY (NO ROOF)

STORMTECH LINEAR SLOT DRAIN, CONNECT TO STORMWATER SYSTEM. FALLS TO NCC

STEEL SECURITY MESH PANELS TO EXTERNAL FIRE STAIR IN ACCORDANCE WITH THE NCC

GAL ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURERS CURRENT PRINTED INSTRUCTION. ROOF FRAMING TO MANUFACTURERS CURRENT PRINTED INSTRUCTION AND AS1684












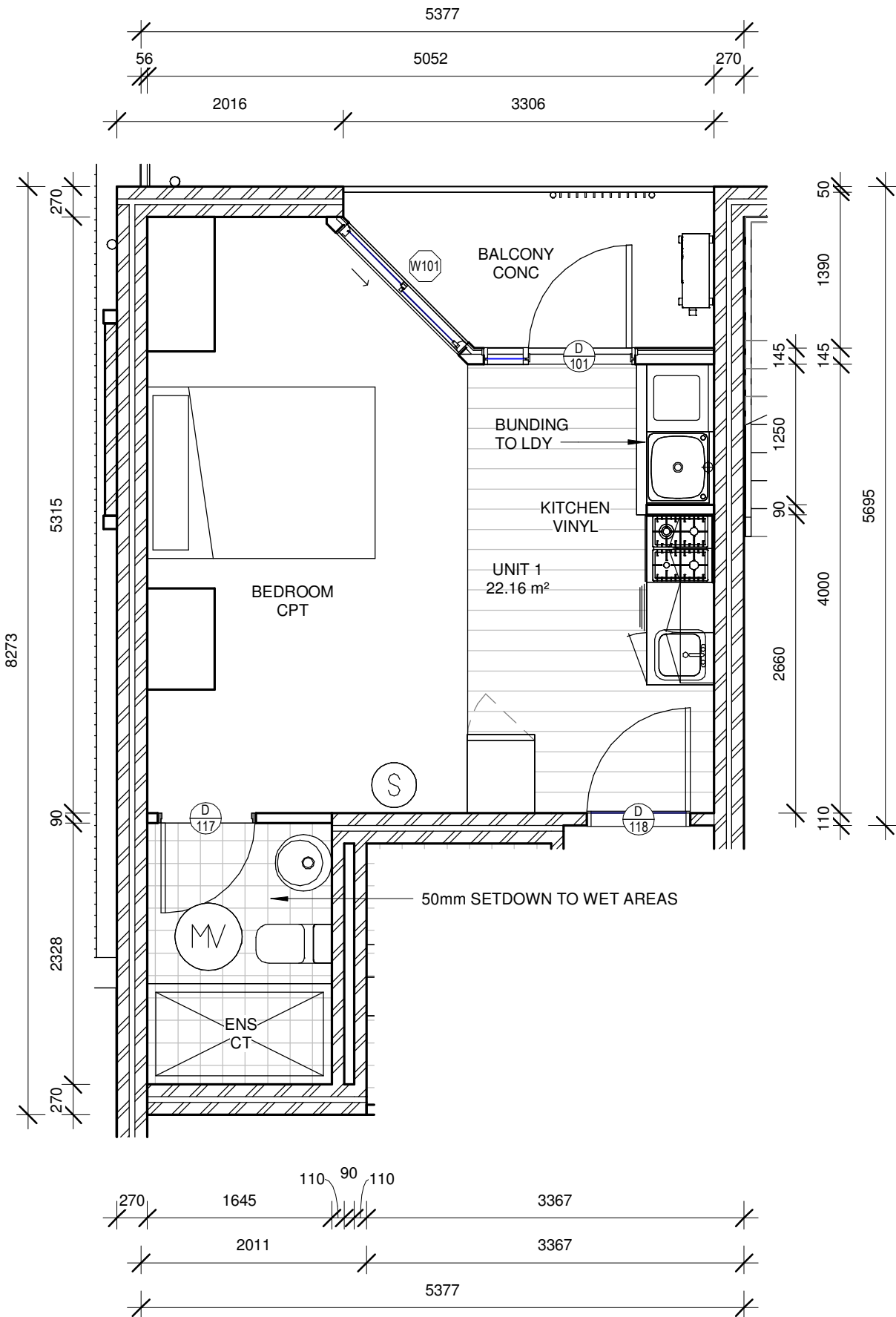
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DRAWING AMENDMENTS			PROJECT TITLE	BRADLEY ST REDEVELOPMENT		DRAWING TITLE	ROOF TOP TERRACE PLAN		DRAWING COMMENCED	DRAWING VERIFIED BY	
REVISION	DESCRIPTION	DATE	CLIENT	YARRABEE PROPERTY GROUP PTY LTD		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067		07/24	TL	
A	DEVELOPMENT APPLICATION	06/12/2024	Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.			61 & 63 BRADLEY STREET GOULBURN		1 : 200	AT SHEET SIZE	A3 SHEET	
									DRAWING IDENTIFICATION NUMBER	A-12	
										JOB NUMBER 0624-1688	
										AMENDMENT ISSUE A	

**TIM LEE ARCHITECTS**  
residential commercial industrial  
P: 02 4822 5934  
ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580  
NOMINATED ARCHITECT:  
TIM LEE  
NSW REG: 7304  
ACT REG: 1030

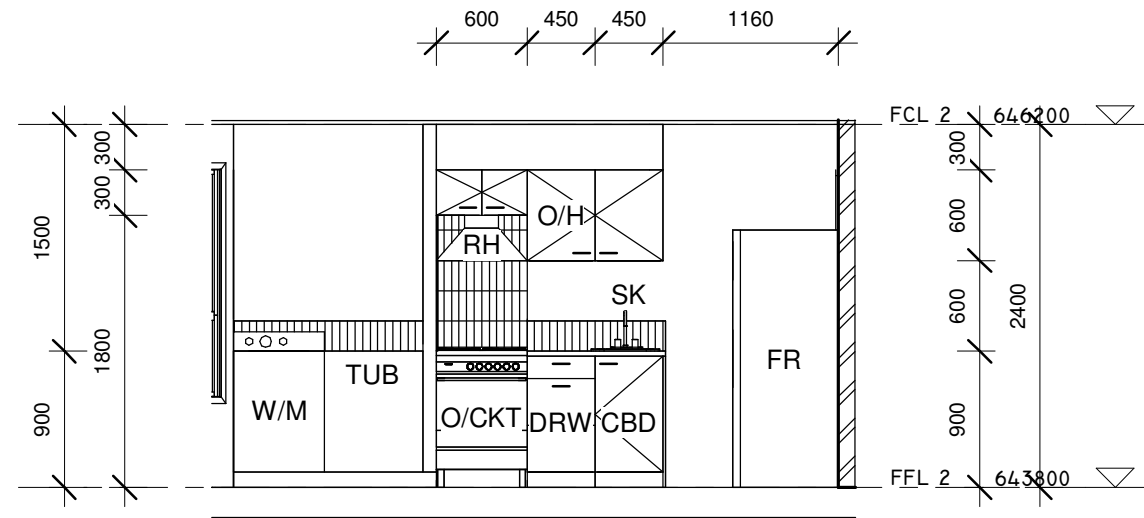


LEGEND	
	DOOR NUMBER, REFER TO SCHEDULE
	WINDOW NUMBER, REFER TO SCHEDULE
	DOWNPIPES, SPACED MAX. 12m APART
VINYL	VINYL PLANK LAY FLOORING
CPT	CARPET INCLUDING ALL TRIMS & EDGING STRIPS
CT	NON-SLIP FLOOR TILES, MIN R11/P4 SLIP RATING, FULLY VITRIFIED, GUARANTEED 10 YEARS
CONC	CONCRETE, NON-SLIP HONED FINISH
	COOK TOP AND OVEN, REFER TO BASIX
	WASHING MACHINE, CONNECT TO SINK DRAIN - ALL TO BE BUNDED AND WATERPROOFED
	MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
	CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
	WET AREA
	DUCTED HEATING / COOLING CONDENSER UNIT ON 600x1200 REINFORCED CONCRETE PLINTH, MOUNT ON VIBRATION ISOLATORS



1 TYPICAL UNIT PLAN 1  
1 : 50 @ A3

KITCHEN LEGEND	
CBD	CUPBOARD
W/M	WASHING MACHINE
TUB	LAUNDRY TUB
O/CKT	ELECTRIC OVEN AND COOKTOP
DRW	DRAWERS
RH	RANGEHOOD
O/H	OVERHEAD CUPBOARDS
D/W	DISHWASHER
SK	SINK AND MIXER
FR	FRIDGE AND FREEZER

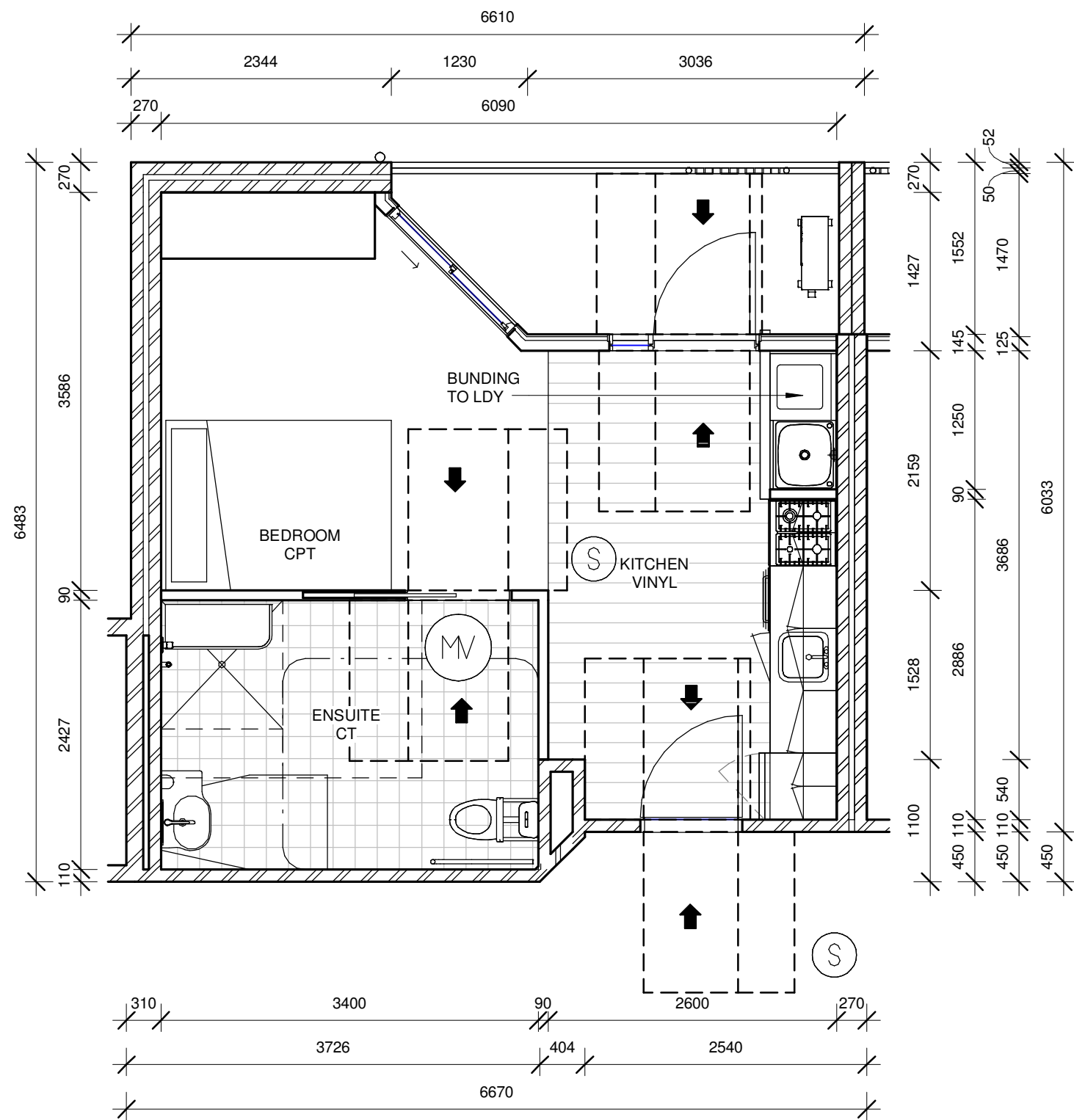


2 TYPICAL KITCHEN ELEVATION 1  
1 : 50 @ A3



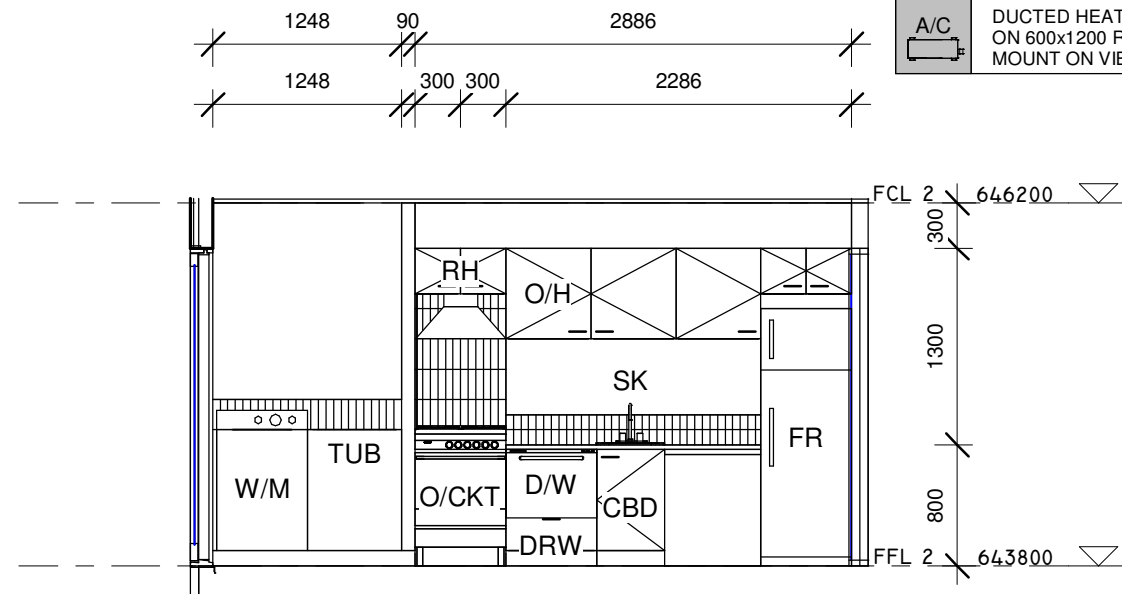
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DRAWING AMENDMENTS			PROJECT TITLE	BRADLEY ST REDEVELOPMENT	DRAWING TITLE	TYPICAL UNIT DETAIL - 1	DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	TL
REVISION	DESCRIPTION	DATE	CLIENT	YARRABEE PROPERTY GROUP PTY LTD	LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067	DRAWING SCALE	As indicated	DRAWN BY	AH
A	DEVELOPMENT APPLICATION	06/12/2024			STREET ADDRESS	61 & 63 BRADLEY STREET GOULBURN	AT SHEET SIZE	A3 SHEET	JOB NUMBER	0624-1688
							DRAWING IDENTIFICATION NUMBER	A-13	AMENDMENT ISSUE	A



1 TYPICAL UNIT PLAN 2 - ACCESSIBLE  
1 : 50 @ A3

- KITCHEN LEGEND**
- CBD - CUPBOARD
  - W/M - WASHING MACHINE
  - TUB - LAUNDRY TUB
  - O/CKT - ELECTRIC OVEN AND COOKTOP
  - DRW - DRAWERS
  - RH - RANGEHOOD
  - O/H - OVERHEAD CUPBOARDS
  - D/W - DISHWASHER
  - SK - SINK AND MIXER
  - FR - FRIDGE AND FREEZER



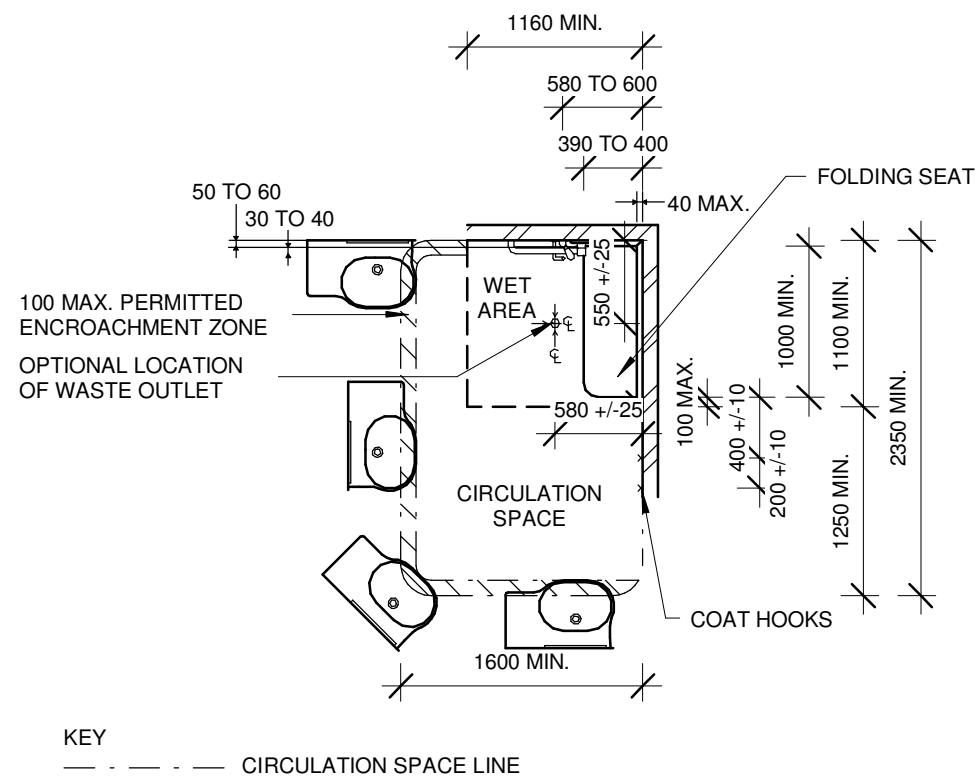
2 TYPICAL KITCHEN ELEVATION 2 - ACCESSIBLE UNIT  
1 : 50 @ A3

LEGEND	
	DOOR NUMBER, REFER TO SCHEDULE
	WINDOW NUMBER, REFER TO SCHEDULE
	DOWNPIPES, SPACED MAX. 12m APART
	VINYL PLANK LAY FLOORING
	CARPET INCLUDING ALL TRIMS & EDGING STRIPS
	NON-SLIP FLOOR TILES, MIN R11/P4 SLIP RATING, FULLY VITRIFIED, GUARANTEED 10 YEARS
	CONCRETE, NON-SLIP HONED FINISH
	COOK TOP AND OVEN, REFER TO BASIX
	WASHING MACHINE, CONNECT TO SINK DRAIN - ALL TO BE BUNDED AND WATERPROOFED
	MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
	CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
	WET AREA
	DUCTED HEATING / COOLING CONDENSER UNIT ON 600x1200 REINFORCED CONCRETE PLINTH, MOUNT ON VIBRATION ISOLATORS

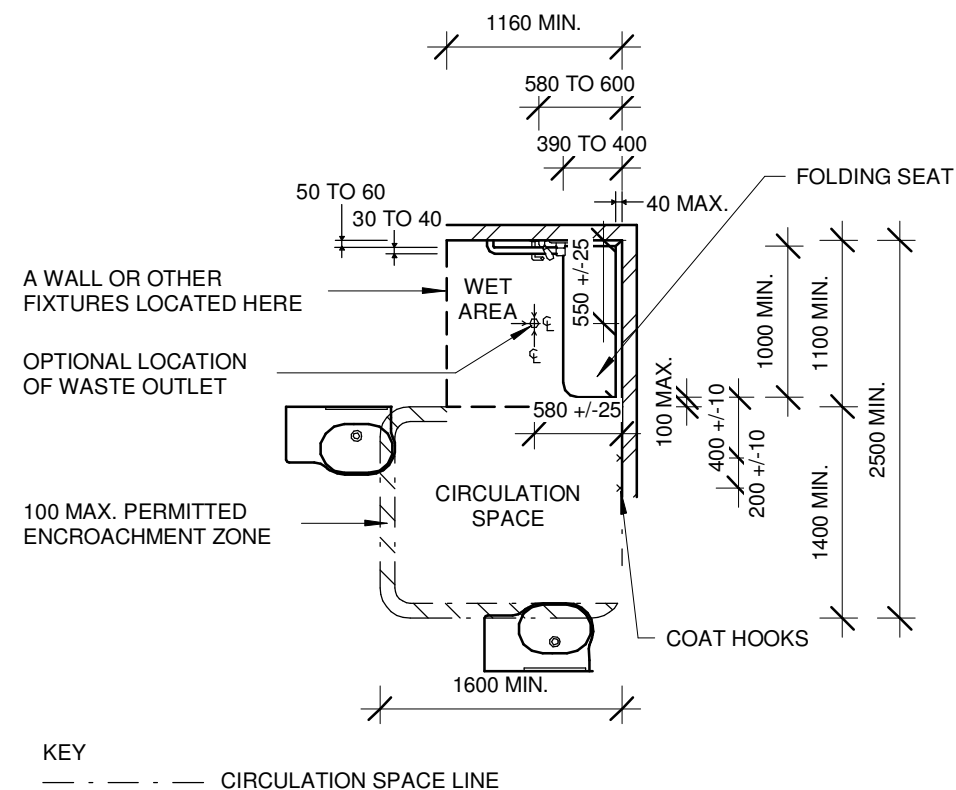
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div></div><div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div> <div><div></div><div></div></div>	DRAWING TITLE	TYPICAL ACCESSIBLE UNIT DETAIL - 2	DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	TL
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	As indicated	DRAWN BY	AH	
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					61 & 63 BRADLEY STREET GOULBURN		A-14		A	



ISSUED FOR  
**DEVELOPMENT APPLICATION**  
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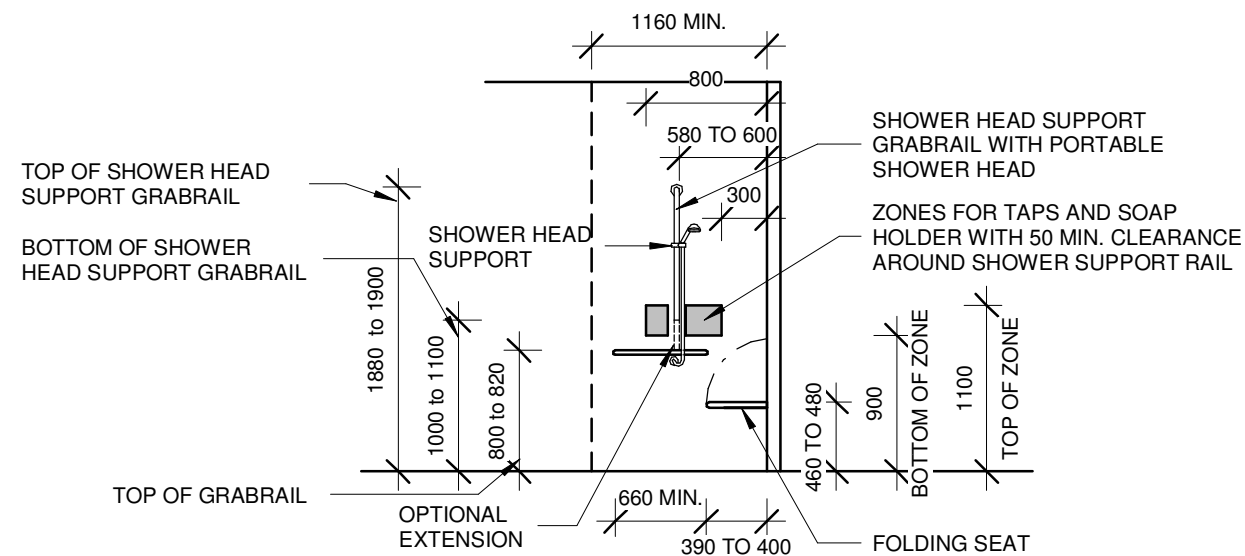


(A) SHOWER RECESS WITH TWO WALLS

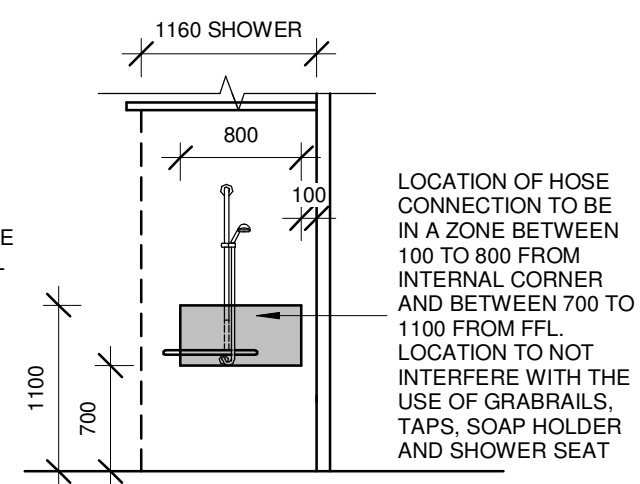


(B) SHOWER RECESS WITH A THIRD SIDE PROVIDED BY A WALL OR OTHER FIXTURES

FIGURE 47 - SHOWER RECESS AND CIRCULATION SPACE - PLAN



(A) SHOWER RECESS FITTINGS



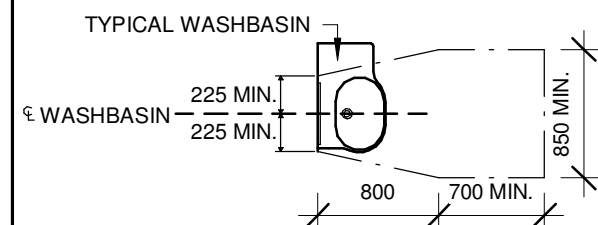
(B) SHOWER RECESS FITTING - ZONE OF HOSE CONNECTION

FIGURE 48 - SHOWER RECESS FITTINGS - ELEVATION

1 AS1428 ACCESSIBLE BATHROOMS DETAIL  
1 : 50 @ A3

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DEVELOPMENT APPLICATION  
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div><div><div></div><div></div></div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 06/12/2024	BRADLEY ST REDEVELOPMENT		TYPICAL ACCESSIBLE BATHROOM DETAILS		07/24	Approver
			CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
			YARRABEE PROPERTY GROUP PTY LTD		LOT 16 DP 1084067		1 : 50	Author
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			61 & 63 BRADLEY STREET GOULBURN		A3 SHEET	0624-1688		
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE		
					A-15	A		



KEY  
- - - - - CIRCULATION SPACE LINE

FIGURE 46 - CIRCULATION SPACE FOR WASHBASINS

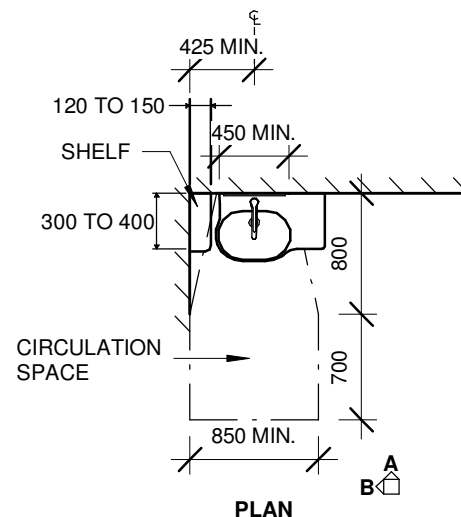
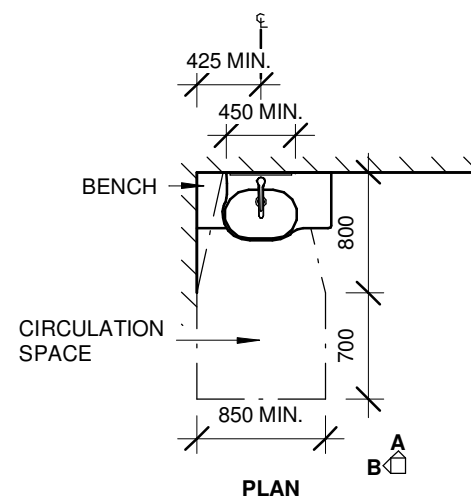
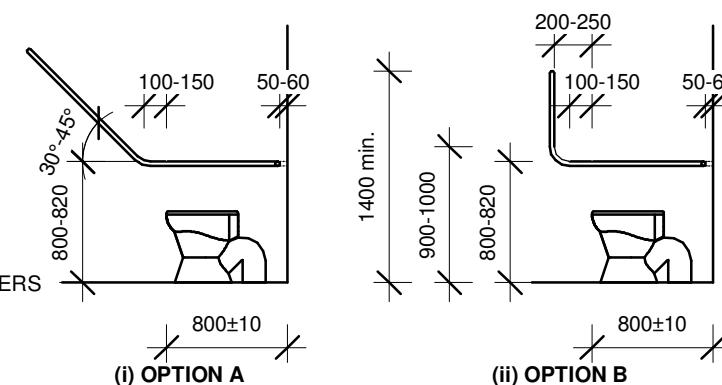
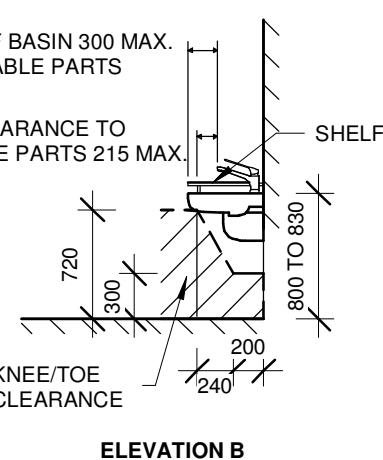
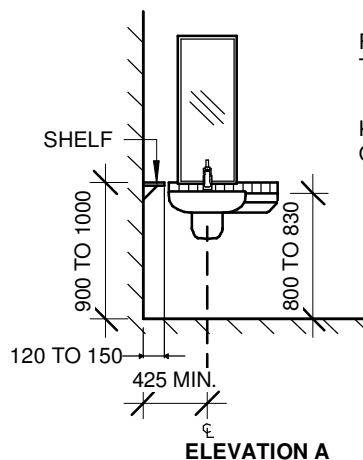
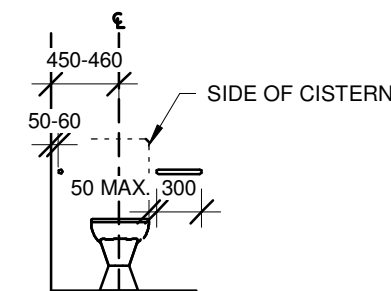


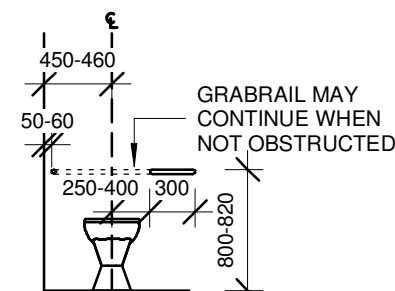
FIGURE 44(B) - WALL-MOUNTED WASHBASIN INSTALLATION - OTHER THAN FOR SOLE-OCCUPANCY UNIT



(a) SIDE VIEW SHOWING OPTIONAL SYSTEMS FOR GRABRAILS AT SIDES OF PAN



(b) GRABRAIL AT BACK OF PAN WITH SURFACE-MOUNTED CISTERN AND SECTIONAL VIEW OF GRABRAIL AT SIDE OF PAN



(c) GRABRAIL AT BACK OF PAN WITH CONCEALED OR REMOTE CISTERN AND SECTIONAL VIEW OF GRABRAIL AT SIDE OF PAN

FIGURE 42 - POSITION OF GRABRAILS IN WATER CLOSETS

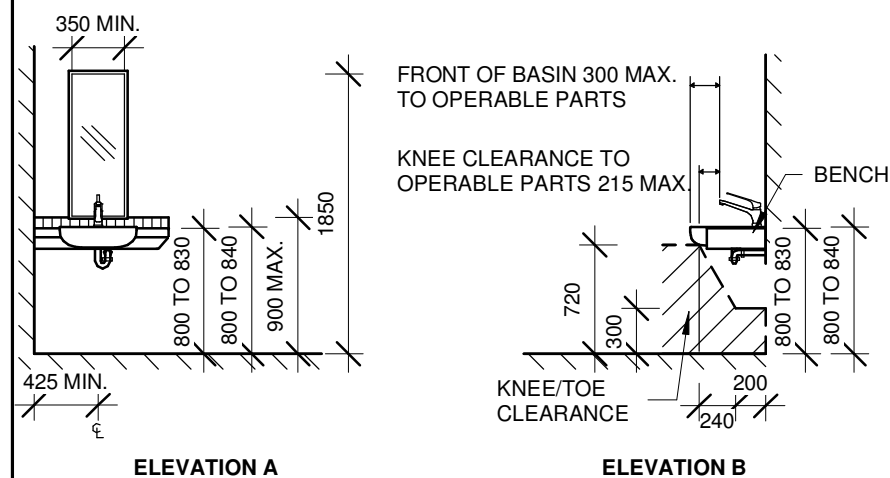


FIGURE 44(A) - SEMI-RECESSED WASHBASIN INSTALLATION - OTHER THAN FOR SOLE-OCCUPANCY UNIT

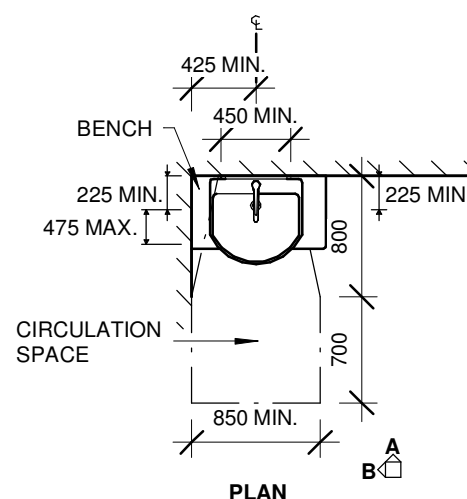


FIGURE 45 - WASHBASIN FOR ACCESSIBLE SOLE OCCUPANCY UNIT

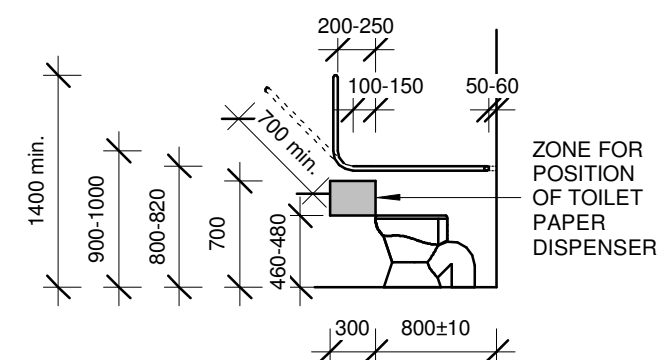
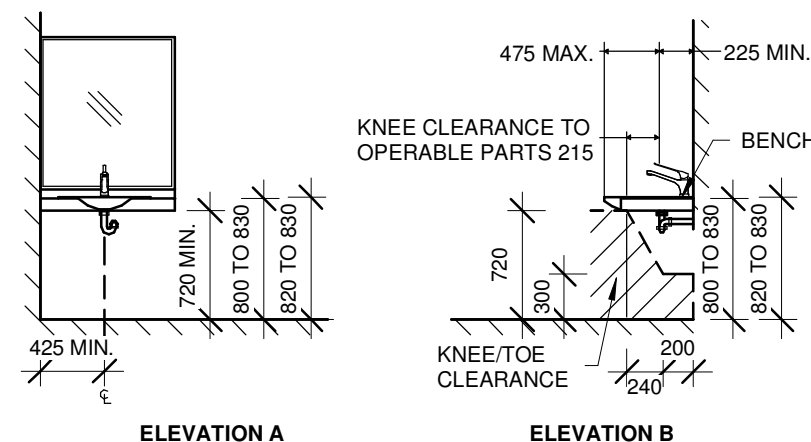


FIGURE 42 & 41

1 AS1428 ACCESSIBLE BATHROOMS DETAIL 2  
1 : 50 @ A3

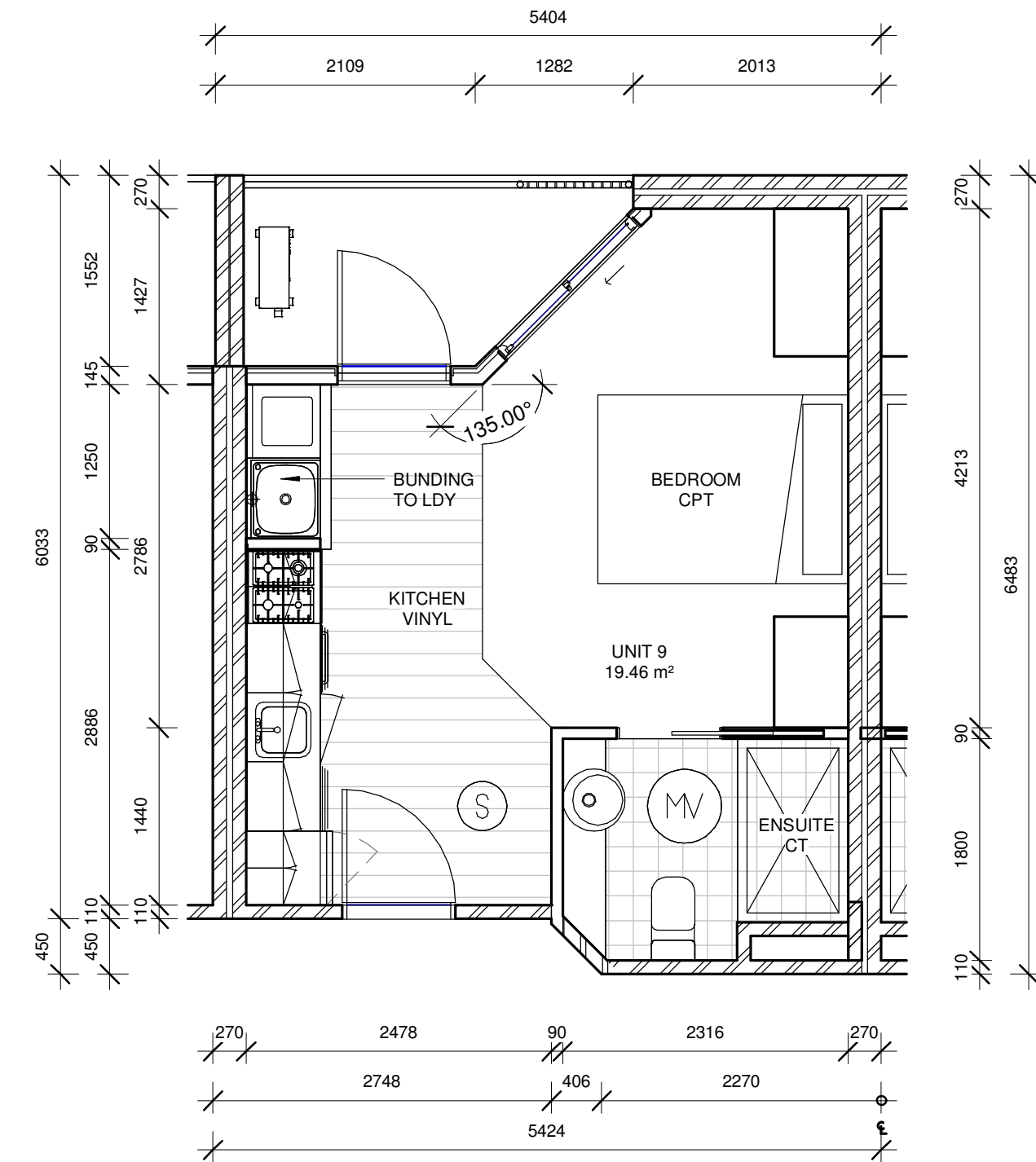
DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div> <div>C</div>	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		TYPICAL ACCESSIBLE BATHROOM DETAILS 2	07/24	TL
A	DEVELOPMENT APPLICATION	06/12/2024	YARRABEE PROPERTY GROUP PTY LTD		LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
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				61 & 63 BRADLEY STREET GOULBURN	A-16	A	

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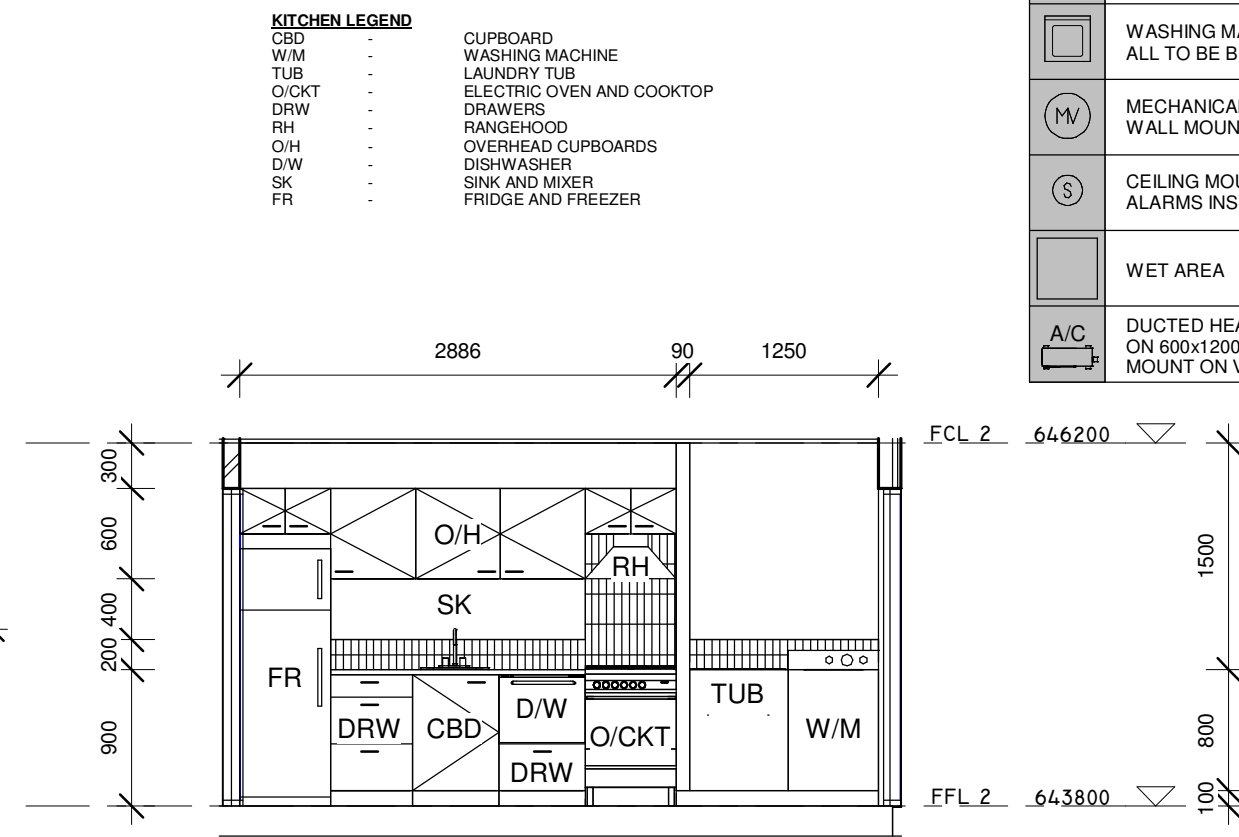
Figured dimensions take precedence. Do not scale drawings.  
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1 TYPICAL UNIT PLAN 3  
1 : 50 @ A3

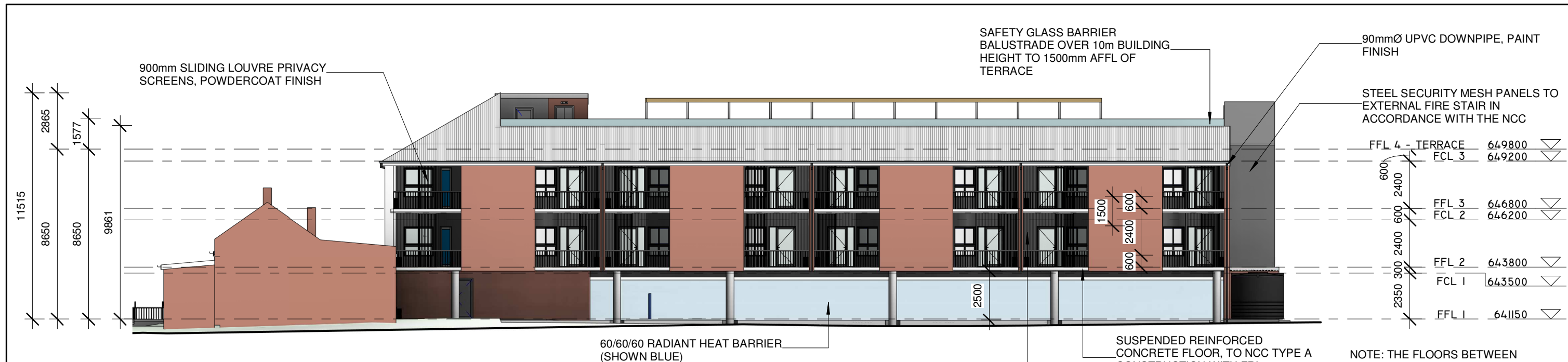


2 TYPICAL KITCHEN ELEVATION 3  
1 : 50 @ A3

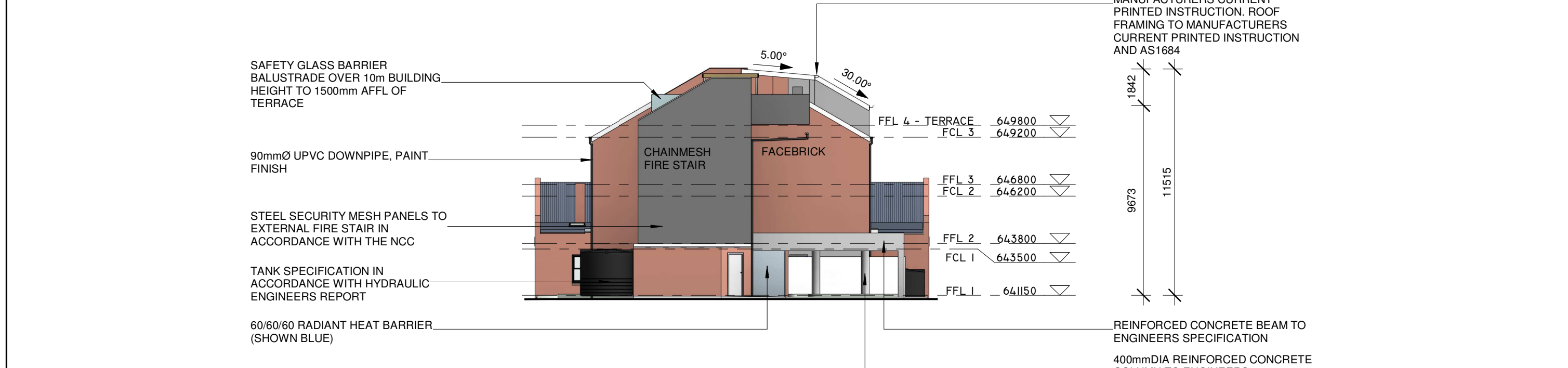
LEGEND	
	DOOR NUMBER, REFER TO SCHEDULE
	WINDOW NUMBER, REFER TO SCHEDULE
	DOWNPIPES, SPACED MAX. 12m APART
VINYL	VINYL PLANK LAY FLOORING
CPT	CARPET INCLUDING ALL TRIMS & EDGING STRIPS
CT	NON-SLIP FLOOR TILES, MIN R11/P4 SLIP RATING, FULLY VITRIFIED, GUARANTEED 10 YEARS
CONC	CONCRETE, NON-SLIP HONED FINISH
	COOK TOP AND OVEN, REFER TO BASIX
	WASHING MACHINE, CONNECT TO SINK DRAIN - ALL TO BE BUNDED AND WATERPROOFED
	MECHANICAL VENTILATION, CEILING OR WALL MOUNTED EXHAUST
	CEILING MOUNTED HARD WIRED SMOKE ALARMS INSTALLED TO MEET AS 3786
	WET AREA
	DUCTED HEATING / COOLING CONDENSER UNIT ON 600x1200 REINFORCED CONCRETE PLINTH, MOUNT ON VIBRATION ISOLATORS

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div><div><div></div><div></div></div></div>	DRAWING TITLE	TYPICAL UNIT DETAIL - 3		DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	TL
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067		DRAWING SCALE	As indicated	DRAWN BY	AH
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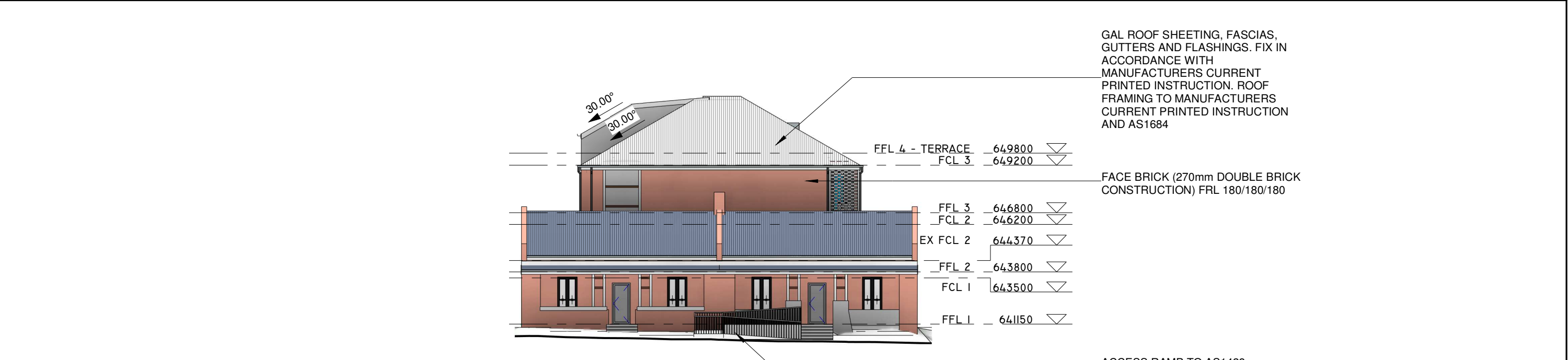
1 PROPOSED EAST ELEVATION  
1 : 200 @ A3



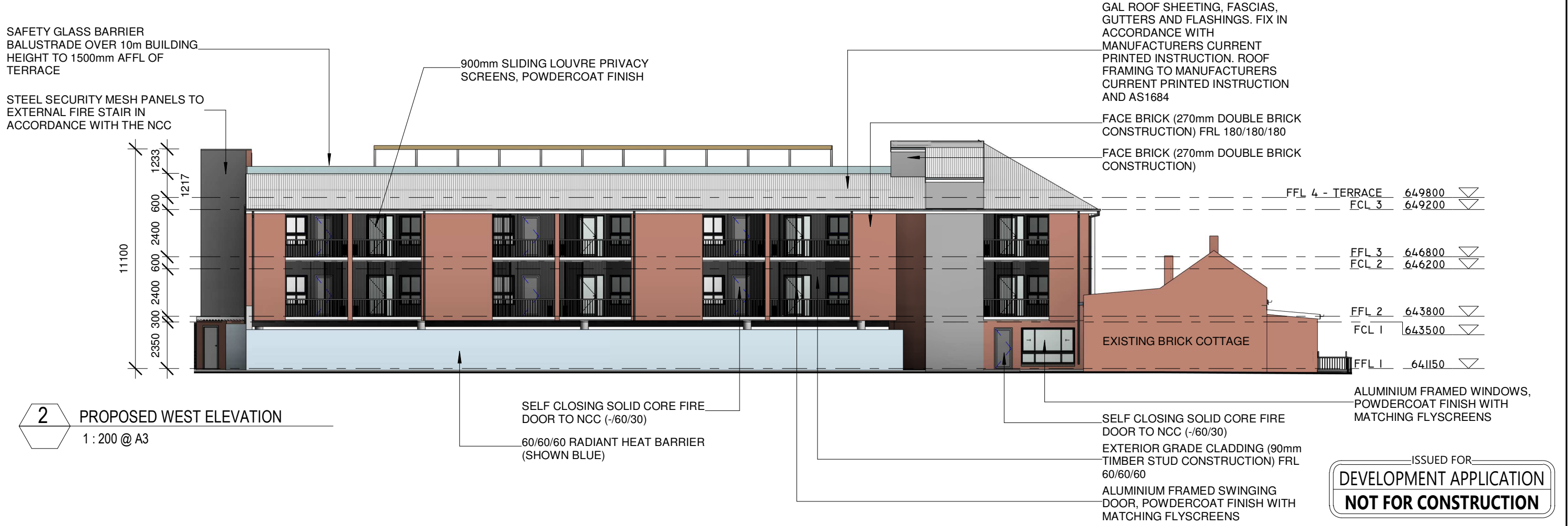
2 PROPOSED NORTH ELEVATION  
1 : 200 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE	BRADLEY ST REDEVELOPMENT		DRAWING TITLE	ELEVATIONS		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT	YARRABEE PROPERTY GROUP PTY LTD		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067		07/24	T.L.
A	DEVELOPMENT APPLICATION	06/12/2024								
			<p>Figured dimensions take precedence. Do not scale drawings.</p> <p>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.</p> <p>COPYRIGHT TIM LEE ARCHITECTS</p> <p>Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</p>		<div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div></div></div></div>		STREET ADDRESS		DRAWING SCALE	DRAWN BY
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							AT SHEET SIZE	JOB NUMBER		
							A3 SHEET	0624-1688		
							DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE		
							A-18	A		



1 PROPOSED SOUTH ELEVATION  
1 : 200 @ A3



2 PROPOSED WEST ELEVATION  
1 : 200 @ A3

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A	DEVELOPMENT APPLICATION	06/12/2024	Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.						DRAWING SCALE	AH	
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									AT SHEET SIZE	JOB NUMBER	
									A3 SHEET	0624-1688	
									DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
									A-19	A	



TIMBER PERGOLA OPEN TO SKY (NO ROOF)

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

BULK INSULATION TO THE SECTION J SPECIFICATION

FACE BRICK (270mm DOUBLE BRICK CONSTRUCTION) FRL 180/180/180

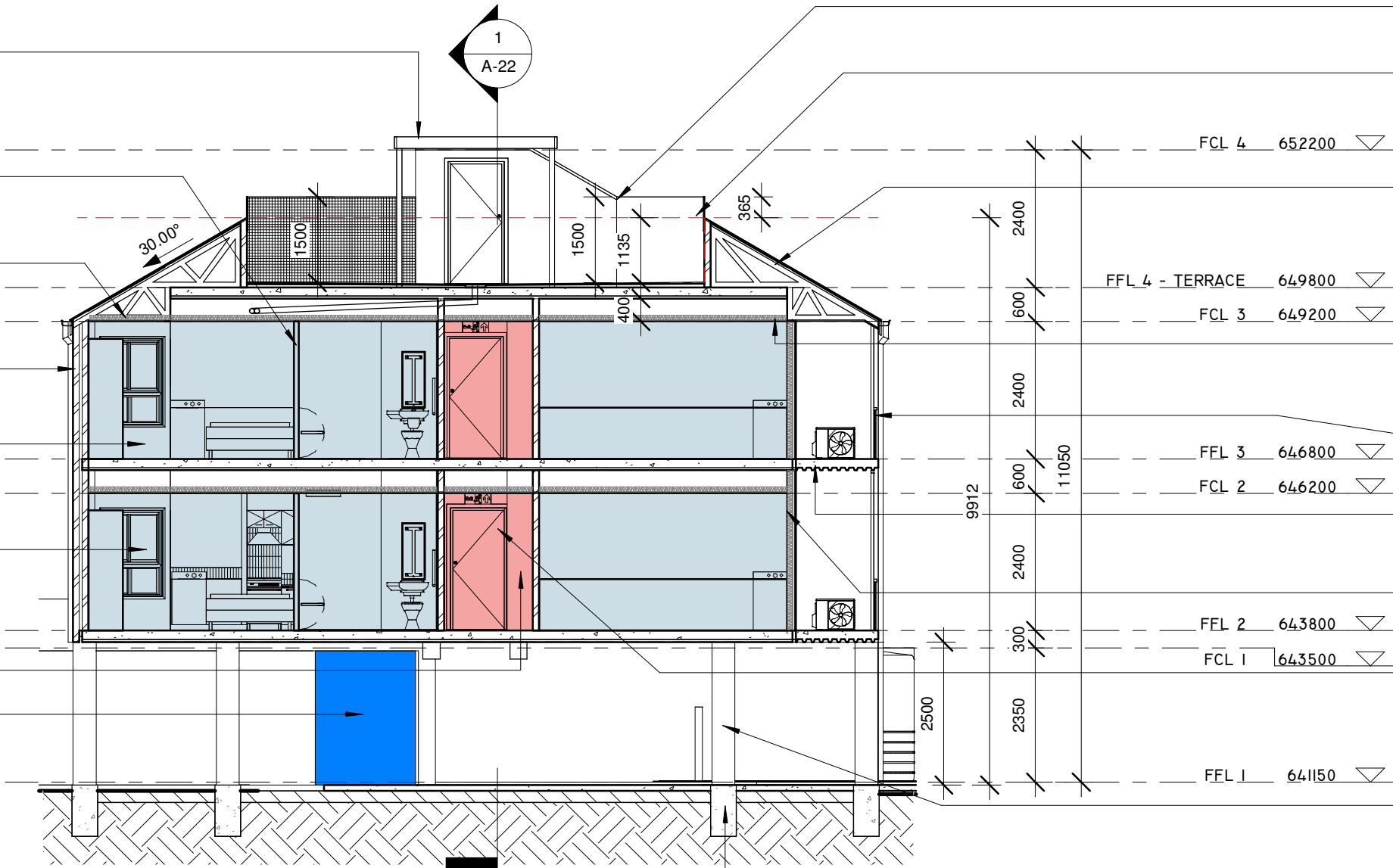
SOLE OCCUPANCY FIRE ISOLATED UNITS SHOWN BLUE

ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS

FIRE ISOLATED COMPARTMENTS SHOWN RED

60/60/60 RADIANT HEAT BARRIER (SHOWN BLUE)

1 SECTION A-A  
1 : 100 @ A3



STEEL SECURITY MESH PANELS TO EXTERNAL FIRE STAIR IN ACCORDANCE WITH THE NCC SAFETY GLASS BARRIER BALUSTRADE OVER 10m BUILDING HEIGHT TO 1500mm AFFL OF TERRACE  
GAL ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURERS CURRENT PRINTED INSTRUCTION. ROOF FRAMING TO MANUFACTURERS CURRENT PRINTED INSTRUCTION AND AS1684

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' SUSPENDED CEILING SYSTEM AT 450cts. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE

BALUSTRADE TO NCC

SUSPENDED REINFORCED CONCRETE FLOOR, TO NCC TYPE A CONSTRUCTION WITH FRL 180/180/180

EXTERIOR GRADE CLADDING (90mm TIMBER STUD CONSTRUCTION) FRL 60/60/60

SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)

400mmDIA REINFORCED CONCRETE COLUMN TO ENGINEERS SPECIFICATION

REINFORCED CONCRETE FOOTING TO ENGINEERS SPECIFICATION

GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

EXTERNAL STAIRS

NON-SLIP PRECAST STEPS TO BE 75mm THICK. ALL STEPS TO HAVE NON-SLIP GROOVES TO THE FRONT EDGE. ALL STEPS TO BE IN ONE PIECE FOR ITS FULL LENGTH. STAIR RISE AND GOING TO COMPLY WITH BCA D2.13 - 2R+G : GREATER THAN 550mm LESS THAN 700mm. ALL STAIR RISERS TO BE EQUAL AND COMPLY WITH BCA D2.13 - MIN. 115mm AND MAX. 190mm. MAXIMUM VARIANCE ACROSS THE STAIR LENGTH ±2mm. ALL STAIR GOINGS TO BE EQUAL TO AND COMPLY WITH BCA D2.13 - MIN. 240mm (PRIVATE), MIN. 250mm (PUBLIC) AND MAX. 355mm.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR.  
- A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONALTIMBER FRAMING CODE).

CEILINGS

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

EXTERIOR WALLS - MASONRY

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

EXTERIOR WALLS - CLADDING

SELECTED EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

SELECTED PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.

ISSUED FOR

DEVELOPMENT APPLICATION  
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DRAWING AMENDMENTS

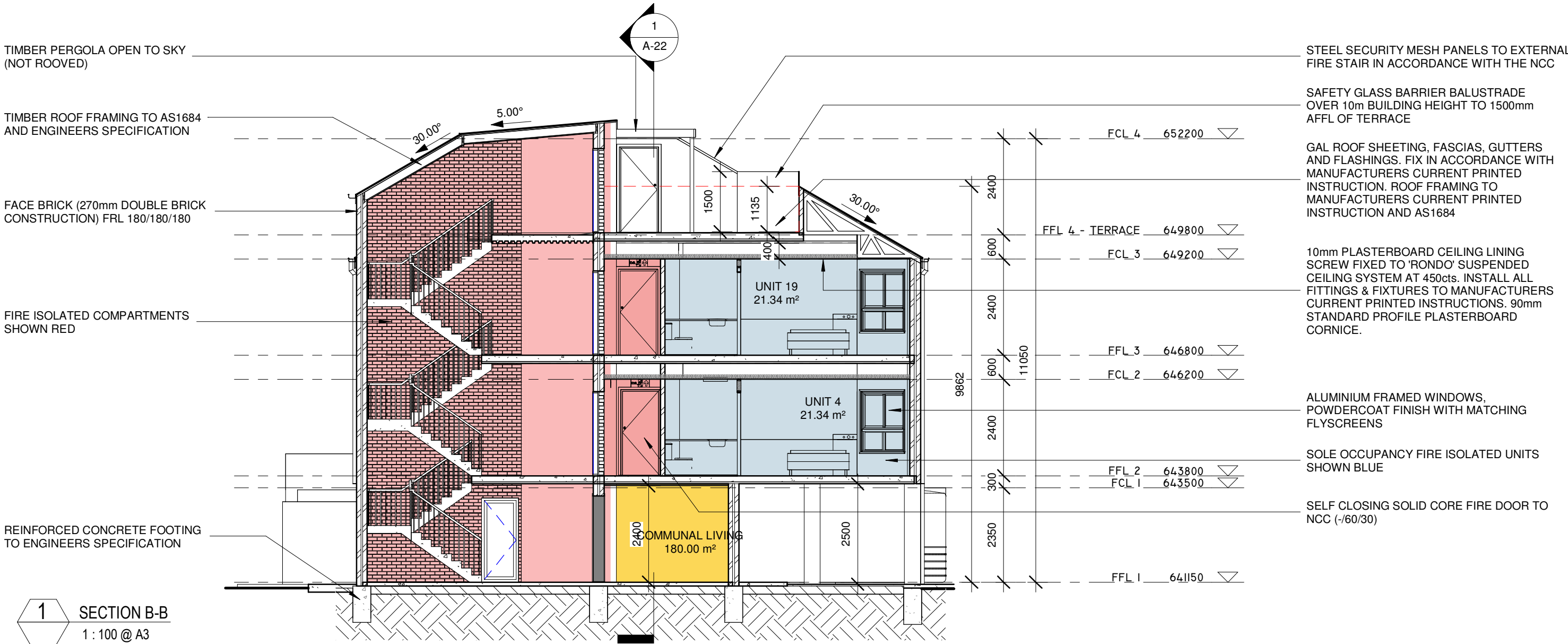
REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	06/12/2024

PROJECT TITLE	BRADLEY ST REDEVELOPMENT
CLIENT	YARRABEE PROPERTY GROUP PTY LTD
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**TIM LEE ARCHITECTS**  
residential commercial industrial  
P: 02 4822 5934  
ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580  
NOMINATED ARCHITECT:  
TIM LEE  
NSW REG: 7304  
ACT REG: 1030

DRAWING TITLE	SECTION A-A	DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	TL
LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067	DRAWING SCALE	1 : 100	DRAWN BY	AH
STREET ADDRESS	61 & 63 BRADLEY STREET GOULBURN	AT SHEET SIZE	A3 SHEET	JOB NUMBER	0624-1688
		DRAWING IDENTIFICATION NUMBER	A-20	AMENDMENT ISSUE	A





**1** SECTION B-B  
1 : 100 @ A3

**GENERAL NOTES:**

- PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.
- INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.
- ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.
- RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.
- EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.
- CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

**EXTERNAL STAIRS**

NON-SLIP PRECAST STEPS TO BE 75mm THICK. ALL STEPS TO HAVE NON-SLIP GROOVES TO THE FRONT EDGE. ALL STEPS TO BE IN ONE PIECE FOR ITS FULL LENGTH. STAIR RISE AND GOING TO COMPLY WITH BCA D2.13 - 2R+G : GREATER THAN 550mm LESS THAN 700mm. ALL STAIR RISERS TO BE EQUAL AND COMPLY WITH BCA D2.13 - MIN. 115mm AND MAX. 190mm. MAXIMUM VARIANCE ACROSS THE STAIR LENGTH ±2mm. ALL STAIR GOINGS TO BE EQUAL TO AND COMPLY WITH BCA D2.13 - MIN. 240mm (PRIVATE), MIN. 250mm (PUBLIC) AND MAX. 355mm.

**CONCRETE SLABS & FOUNDATIONS**

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR.  
- A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

**MINIMUM BEARING PRESSURE 150KPa. ONO.**

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.  
50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.  
50mm SET DOWN FOR WET AREAS.

**FRAMING**

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONAL TIMBER FRAMING CODE).

**CEILINGS**

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL AL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

**WALLS**

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALL) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

**EXTERIOR WALLS - MASONRY**

WEEPHOLES TO EVERY THIRD PERPEND. SUPER ALCOR DCP OVER WEEPHOLES.

FORM 12mm EJ TO EACH BRICK SKIN WITH 50mm ABELFLEX STRIP. FILL JOINT WITH POLYETHYLENE FOAM BACKING ROD & SEAL WITH COLOURED MASTIC. EJ AT MAX. 9m cts UNLESS OTHERWISE SPECIFIED. SLIP JOINT BETWEEN CONCRETE SLAB & SUPPORTING MASONRY WALLS. CLEAR ALL PERPENDS TO LOWEST COURSE.

**EXTERIOR WALLS - CLADDING**

SELECTED EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

**ROOF**

SELECTED PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

**WET AREAS**

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

STEEL SECURITY MESH PANELS TO EXTERNAL FIRE STAIR IN ACCORDANCE WITH THE NCC

SAFETY GLASS BARRIER BALUSTRADE OVER 10m BUILDING HEIGHT TO 1500mm AFFL OF TERRACE

GAL ROOF SHEETING, FASCIAS, GUTTERS AND FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURERS CURRENT PRINTED INSTRUCTION. ROOF FRAMING TO MANUFACTURERS CURRENT PRINTED INSTRUCTION AND AS1684

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' SUSPENDED CEILING SYSTEM AT 450cts. INSTALL ALL FITTINGS & FIXTURES TO MANUFACTURERS CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS

SOLE OCCUPANCY FIRE ISOLATED UNITS SHOWN BLUE

SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)

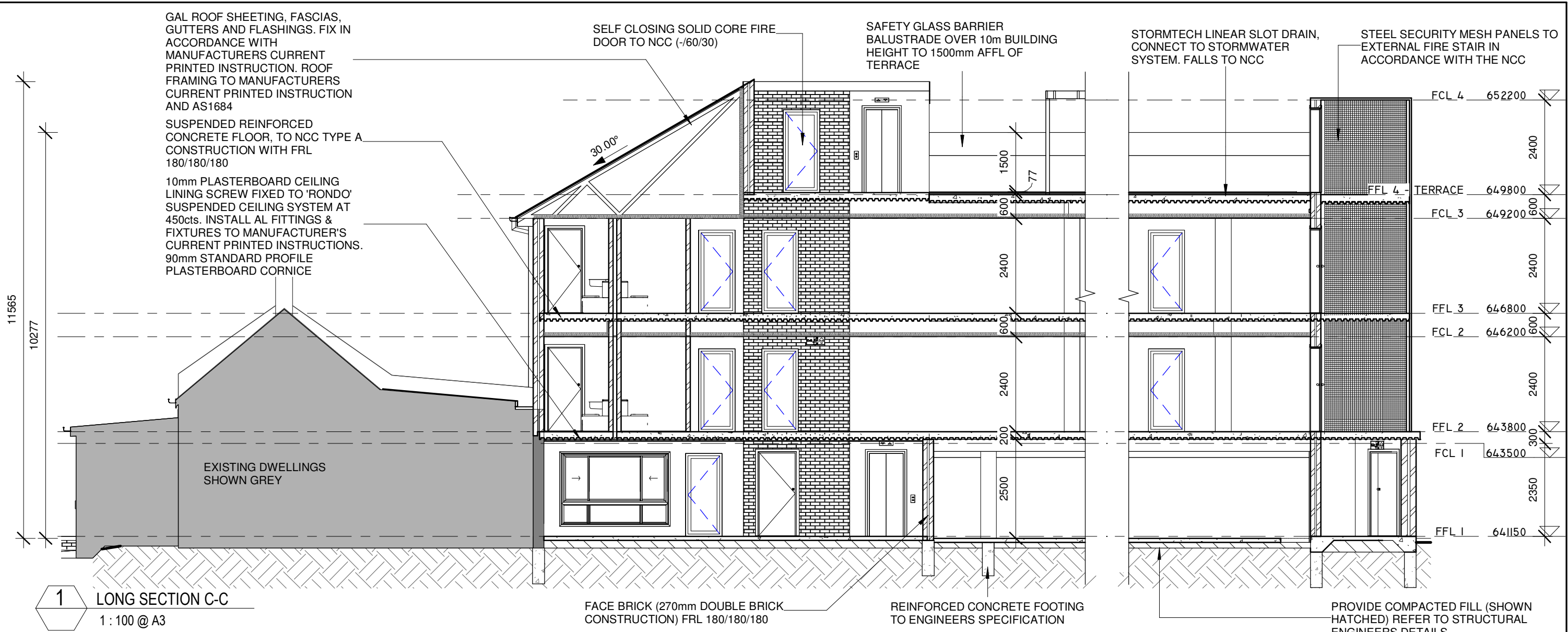
**TILING**

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.  
APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.  
SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE PREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

**REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.**

ISSUED FOR  
**DEVELOPMENT APPLICATION**  
**NOT FOR CONSTRUCTION**

DRAWING AMENDMENTS			PROJECT TITLE	BRADLEY ST REDEVELOPMENT	<div><div><div><div></div></div><div>TIM LEE ARCHITECTS</div></div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	SECTION B-B	DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	TL
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 06/12/2024	CLIENT	YARRABEE PROPERTY GROUP PTY LTD		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067	DRAWING SCALE	1 : 100	DRAWN BY	AH
			<div>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>			AT SHEET SIZE		A3 SHEET	JOB NUMBER	0624-1688	
							STREET ADDRESS	61 & 63 BRADLEY STREET GOULBURN	DRAWING IDENTIFICATION NUMBER	A-21	AMENDMENT ISSUE



1 LONG SECTION C-C  
1 : 100 @ A3

GENERAL NOTES:

- PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.
- INSTALL HARD WIRED SMOKE ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS AS DIRECTED ONSITE.
- ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.
- RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.
- EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.
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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	SECTION C-C	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
A	DEVELOPMENT APPLICATION	06/12/2024	YARRABEE PROPERTY GROUP PTY LTD		LOT 16 DP 1084067		1 : 100	AH
			<div>Figured dimensions take precedence. Do not scale drawings.</div> <div>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.</div> <div>COPYRIGHT TIM LEE ARCHITECTS</div> <div>Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</div> <div>C</div>		STREET ADDRESS <th>61 &amp; 63 BRADLEY STREET GOULBURN</th> <th>AT SHEET SIZE</th> <th>JOB NUMBER</th>	61 & 63 BRADLEY STREET GOULBURN	AT SHEET SIZE	JOB NUMBER
						DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						A-22	A	





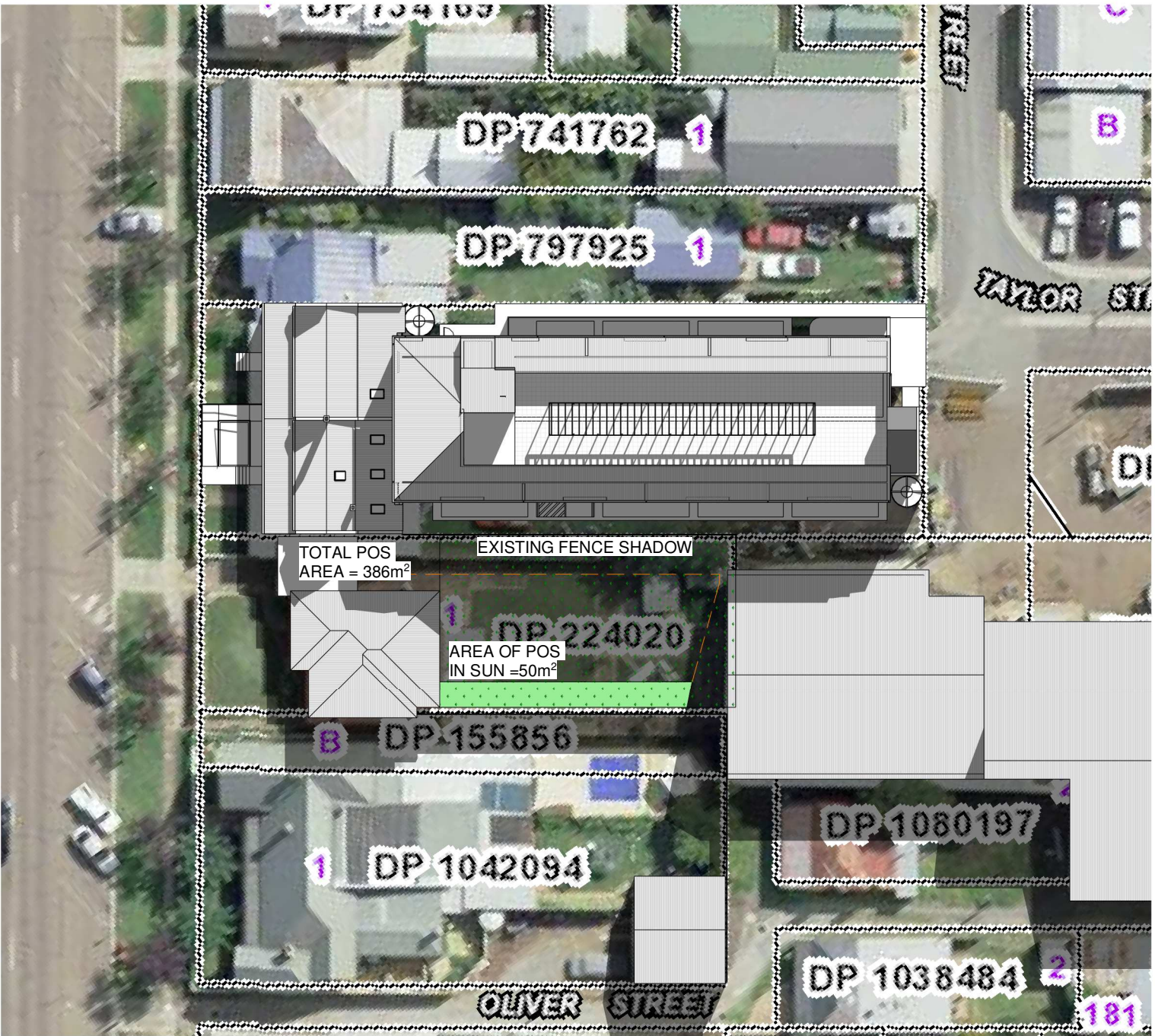
1 SHADOW DIAGRAM - WINTER SOLSTICE 9AM  
1 : 500 @ A3

2 SHADOW DIAGRAM - WINTER SOLSTICE 12PM  
1 : 500 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE		SHADOW DIAGRAMS	DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	T.L.
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067	DRAWING SCALE	1 : 500	DRAWN BY	AH	
A	DEVELOPMENT APPLICATION	06/12/2024	YARRABEE PROPERTY GROUP PTY LTD				AT SHEET SIZE	A3 SHEET	JOB NUMBER	0624-1688	
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					STREET ADDRESS	61 & 63 BRADLEY STREET GOULBURN					





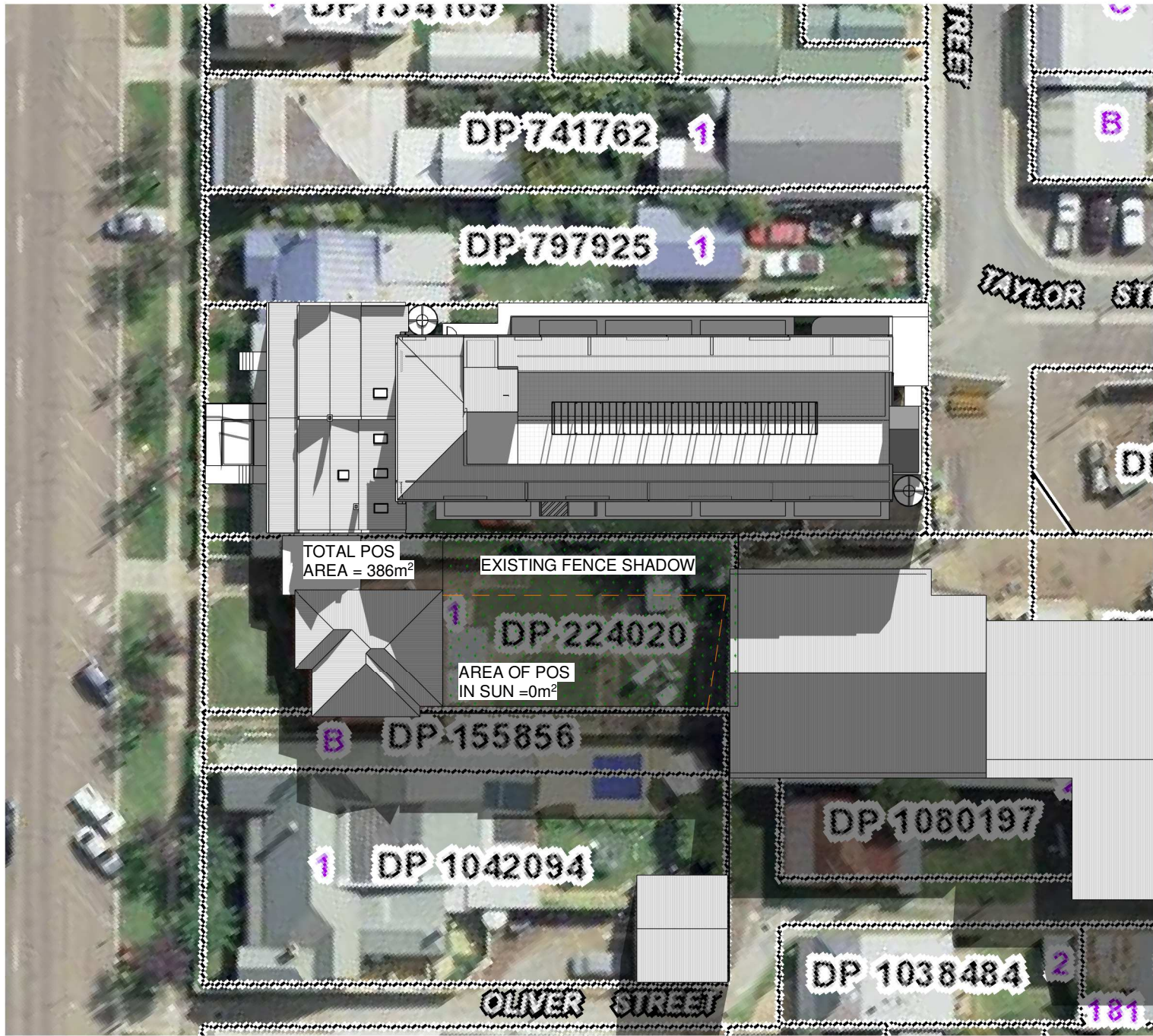
1 SHADOW DIAGRAM - WINTER SOLSTICE 1PM  
1 : 500 @ A3

2 SHADOW DIAGRAM - WINTER SOLSTICE 2PM  
1 : 500 @ A3

ISSUED FOR  
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DRAWING AMENDMENTS			PROJECT TITLE	BRADLEY ST REDEVELOPMENT	<div><div><div><div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div></div>	DRAWING TITLE	SHADOW DIAGRAMS		DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	T.L.	
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										DRAWING IDENTIFICATION NUMBER	A-24	AMENDMENT ISSUE	A





1 SHADOW DIAGRAM - WINTER SOLSTICE 3PM  
1 : 500 @ A3



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					61 & 63 BRADLEY STREET GOULBURN		A3 SHEET	0624-1688
							DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
							A-25	A



DOOR SCHEDULE						DOOR SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
01	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	145	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
02	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	146	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
03	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	147	SOLID CORE INTERNAL SWINGING DOOR	2100	820	0	2100
04	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	148	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
05	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	201	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
06	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	202	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
07	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	203	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
08	SOLID CORE INTERNAL SWINGING DOOR	2100	720	0	2100	204	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
09	SOLID CORE INTERNAL SWINGING DOOR	2100	720	0	2100	205	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
10	SOLID CORE INTERNAL SWINGING DOOR	2100	920	0	2100	206	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
101	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	207	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
102	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	208	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
103	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	209	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
104	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	210	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
105	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	211	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
106	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	212	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
107	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	213	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
108	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	214	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
109	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	215	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100
110	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	216	ALUMINIUM FRAMED GLAZED SWINING DOOR, POWDERCOAT FINISH	2100	820	0	2100
111	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	217	TIMBER FRAMED, HOLLOW CORE SWINGING DOOR	2100	820	0	2100
112	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	218	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
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115	ALUMINIUM FRAMED SWINGING DOOR, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	2100	1000	0	2100	221	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
116	ALUMINIUM FRAMED GLAZED SWINING DOOR, POWDERCOAT FINISH	2100	820	0	2100	222	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
117	SOLID CORE INTERNAL SWINGING DOOR	2100	820	0	2100	223	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	920	0	2040
118	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	224	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
119	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	225	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
120	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	226	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
121	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	920	0	2040	227	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
122	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	228	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
123	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	229	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
124	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	230	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
125	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	231	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
126	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	232	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
127	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	233	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
128	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	234	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
129	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	235	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
130	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	236	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
131	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	237	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
132	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	238	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
133	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	239	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
134	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	240	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
135	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	241	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
136	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	242	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
137	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	243	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
138	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	244	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
139	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	245	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
140	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	246	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
141	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	247	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040
142	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100	301	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
143	TIMBER FRAMED, HOLLOW CORE CAVITY SLIDING	2040	820	0	2040	302	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100
144	SELF CLOSING SOLID CORE FIRE DOOR TO NCC (-/60/30)	2100	920	0	2100						

DOOR SCHEDULE

DOOR SCHEDULE

DRAWING AMENDMENTS

REVISION

A

DESCRIPTION

DEVELOPMENT APPLICATION

DATE

06/12/2024

PROJECT TITLE

BRADLEY ST REDEVELOPMENT

CLIENT

YARRABEE PROPERTY GROUP PTY LTD

Figured dimensions take precedence. Do not scale drawings.  
Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
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C

TL

TIM LEE

ARCHITECTS

residential commercial industrial

P: 02 4822 5934  
ABN: 71425067537  
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GOULBURN NSW  
2580

NOMINATED ARCHITECT:

TIM LEE  
NSW REG: 7304  
ACT REG: 1030

DRAWING TITLE

DOOR SCHEDULE

LOT AND DEPOSITED PLAN NO.

LOT 16 DP 1084067

STREET ADDRESS

61 & 63 BRADLEY STREET GOULBURN

DRAWING COMMENCED

07/24

DRAWING SCALE

A3 SHEET

AT SHEET SIZE

A3 SHEET

DRAWING IDENTIFICATION NUMBER

A-26

DRAWING VERIFIED BY

TL

DRAWN BY

AH

JOB NUMBER

0624-1688

AMENDMENT ISSUE

A

DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

WINDOW SCHEDULE						WINDOW SCHEDULE					
WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	WINDOW NO.	WINDOW TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
01	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1800	2710	300	2100	112	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
02	ALUMINIUM FRAMED SKYLIGHT, REFER TO THE NATHERS/BASIX SPECIFICATION	1200	798			113	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
03	ALUMINIUM FRAMED SKYLIGHT, REFER TO THE NATHERS/BASIX SPECIFICATION	1200	798			114	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
04	ALUMINIUM FRAMED SKYLIGHT, REFER TO THE NATHERS/BASIX SPECIFICATION	1200	798			115	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
05	ALUMINIUM FRAMED SKYLIGHT, REFER TO THE NATHERS/BASIX SPECIFICATION	1200	798			201	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
06	ALUMINIUM FRAMED SKYLIGHT, REFER TO THE NATHERS/BASIX SPECIFICATION	1200	798			202	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
101	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	203	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
102	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	204	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
103	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	205	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
104	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	206	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
105	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	207	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
106	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	208	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
107	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	209	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
108	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	210	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
109	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	211	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
110	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	212	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
111	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100	213	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
						214	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100
						215	ALUMINIUM FRAMED WINDOWS, POWDERCOAT FINISH WITH MATCHING FLYSCREENS	1500	1510	600	2100

ISSUED FOR

DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div></div><div>TIM LEE ARCHITECTS</div></div><div>residential commercial industrial</div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE		DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 06/12/2024	CLIENT		WINDOW SCHEDULE		07/24	TL
			YARRABEE PROPERTY GROUP PTY LTD		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE	DRAWN BY
					LOT 16 DP 1084067			
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS		AT SHEET SIZE	JOB NUMBER	
				61 & 63 BRADLEY STREET GOULBURN		DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
						A-27	A	





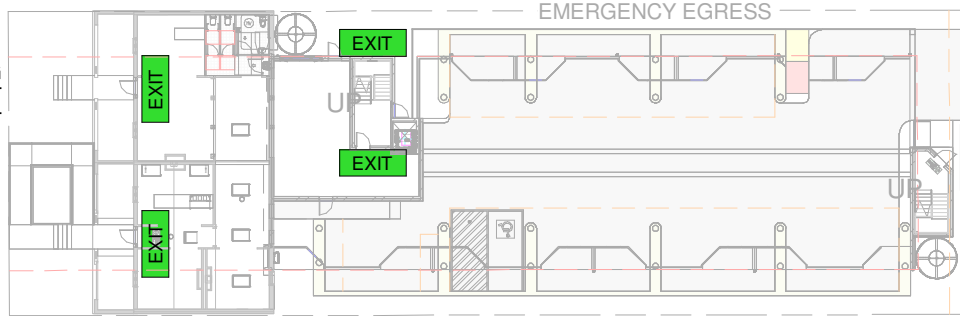
ISSUED FOR  
**DEVELOPMENT APPLICATION**  
**NOT FOR CONSTRUCTION**

DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div></div><div>P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030</div></div>	DRAWING TITLE	3D CONCEPT		DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	T.L.	
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067		DRAWING SCALE		DRAWN BY	AH	
A	DEVELOPMENT APPLICATION	06/12/2024	YARRABEE PROPERTY GROUP PTY LTD		Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS	61 & 63 BRADLEY STREET GOULBURN		AT SHEET SIZE	A3 SHEET	JOB NUMBER	0624-1688
											DRAWING IDENTIFICATION NUMBER	A-28



BRADLEY STREET

MARSHALLING  
POINT AT  
STREET



NORTH STREET

MARSHALLING  
POINT AT  
STREET

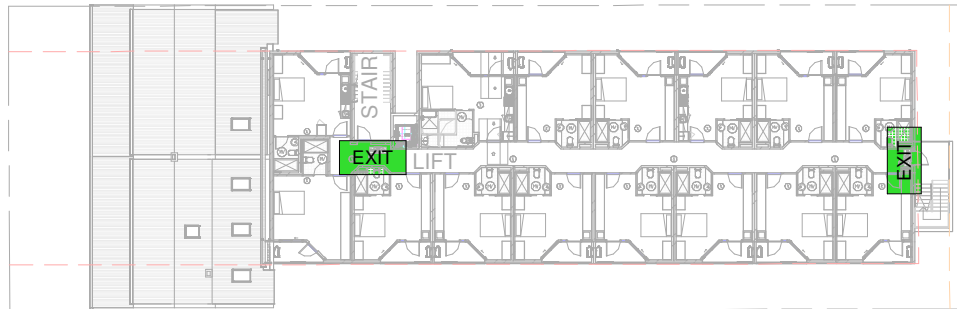
TAYLOR STREET

1

GROUND FLOOR PLAN - ESCAPE EGRESS PLAN

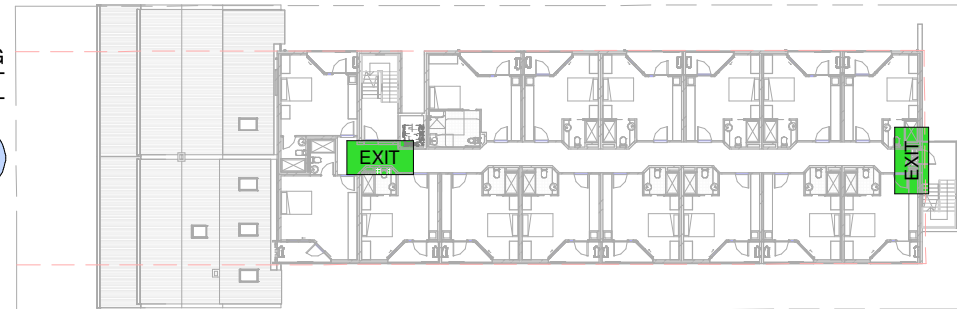
1 : 500 @ A3

MARSHALLING  
POINT AT  
STREET



MARSHALLING  
POINT AT  
STREET

MARSHALLING  
POINT AT  
STREET



MARSHALLING  
POINT AT  
STREET

2

FIRST FLOOR PLAN - ESCAPE EGRESS PLAN

1 : 500 @ A3

3

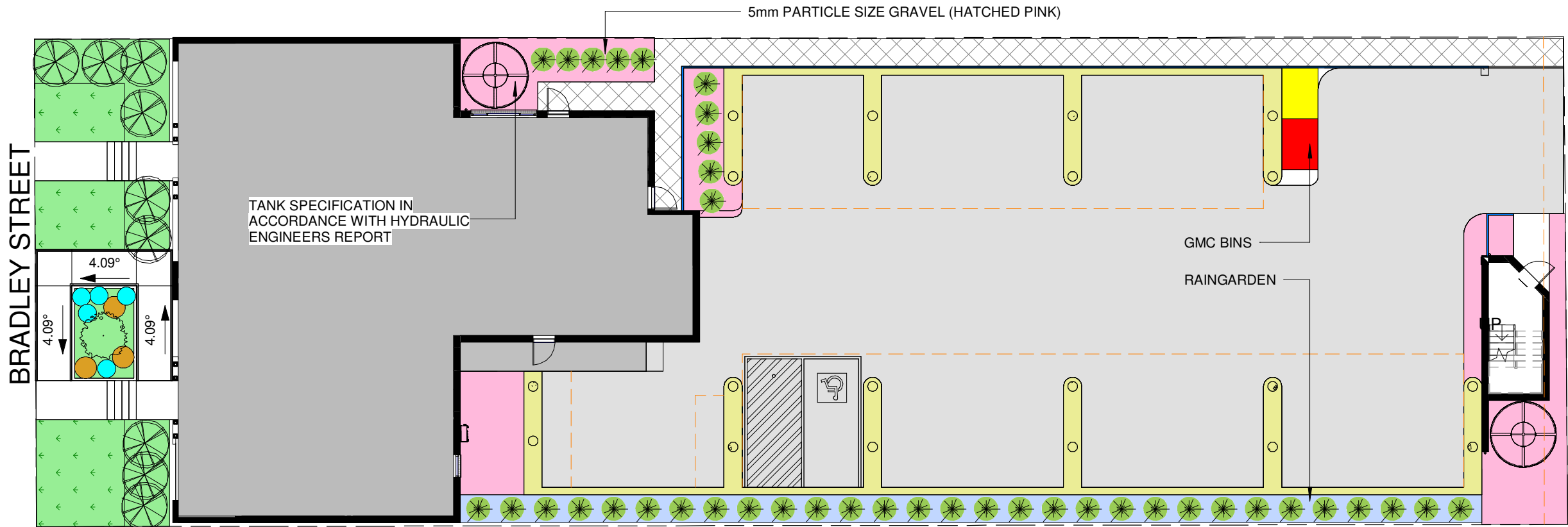
SECOND FLOOR PLAN - ESCAPE EGRESS PLAN

1 : 500 @ A3



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DRAWING AMENDMENTS			PROJECT TITLE	<div><div><div><div><div></div><div></div></div><div>TIM LEE ARCHITECTS</div><div>residential commercial industrial</div><div>P: 02 4822 5934</div><div>ABN: 71425067537</div><div>ROSS PLACE</div><div>GOULBURN NSW 2580</div><div>NOMINATED ARCHITECT:</div><div>TIM LEE</div><div>NSW REG: 7304</div><div>ACT REG: 1030</div></div><div>C</div></div></div>	DRAWING TITLE	FIRE ESCAPE PLAN		DRAWING COMMENCED	07/24	DRAWING VERIFIED BY	TL
REVISION	DESCRIPTION	DATE	CLIENT		LOT AND DEPOSITED PLAN NO.	LOT 16 DP 1084067		DRAWING SCALE	1 : 500	DRAWN BY	AH
A	DEVELOPMENT APPLICATION	06/12/2024	YARRABEE PROPERTY GROUP PTY LTD					AT SHEET SIZE	A3 SHEET	JOB NUMBER	0624-1688
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					STREET ADDRESS		61 & 63 BRADLEY STREET GOULBURN	DRAWING IDENTIFICATION NUMBER	A-29	AMENDMENT ISSUE	A



**NOTES**

**RAINGARDEN DESIGN TO HYDRAULIC ENGINEERS DETAILS.**

PLANT SPECIES TO BE SELECTED FROM GOULBURN MULWAREE COUNCIL'S DEVELOPMENT CONTROL PLAN APPENDIX B, PREFERRED PLANING SPECIES IN THE GOULBURN MULWAREE GOVERNMENT AREA. FINAL PLANT SELECTION BY CLIENT.

IF A SUB-SOIL WATERING SYSTEM IS INSTALLED, CONNECT TO RAIN WATER TANKS WITH TIMER. DRIPPERS TO BE PLACED AT EACH PLANT BASE. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER IS ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.

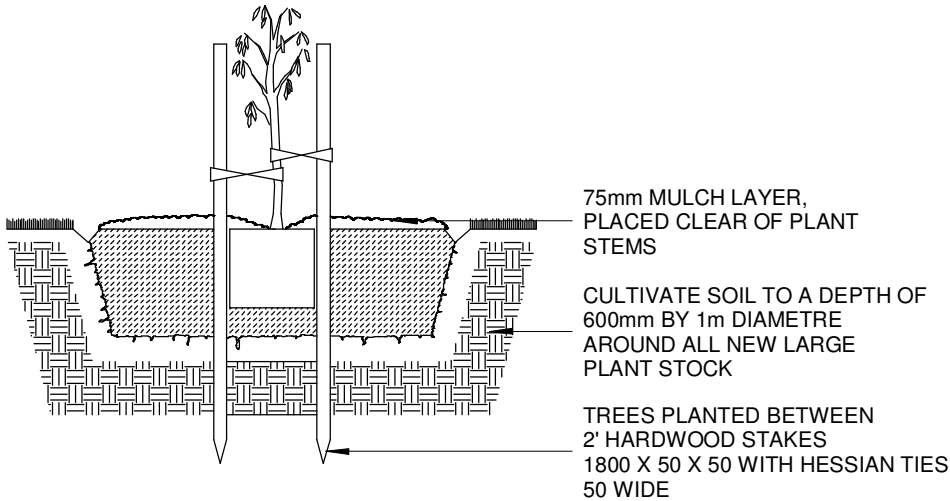
ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.

**NOTE : FINAL PLANTING OF PLANTS TO BE IN ACCORDANCE WITH SUPPLIER'S CURRENT RECOMMENDED INSTRUCTIONS & SPACINGS.**

PLANT SCHEDULE					
*(GMC DCP - APPENDIX B : LAND ZONE 4 PLANTING)*					
SYMBOL	QTY.	POT SIZE	COMMON	BOTANICAL	
	---	---	CANTURF CANBERRA BLEND WITH CLOVER	TALL FINE FESCUE & KENTUCKY BLUEGRASS WITH 5% O'CONNER'S STRAWBERRY CLOVER ADDED.	
	---	---	AREA OF BIORETENTION	REFER TO HYDRAULIC ENGINEERS SPECIFICATION	
	1	30 LITRE POT, SPACED AS SHOWN ON PLAN	CLARET ASH	FRAXINUS OXYCARPA RAYWOODII	
	9	20 LITRE POT, SPACED AS SHOWN ON PLANS	GREVILLA (MIXED)	BAUERI & CANBERRA GEM	
	8	4.5 LITRE POT, SPACED MAX. 600mm APART MIXED GROUND COVER	SALVIA SINALOENSIS (MIXED VARIETY)	SINALOAN BLUE SAGE & AZTEC BLUE MIXTURE	
	40	4.5 LITRE POT, SPACED MAX. 600mm APART	WATTLE MAT-RUSH	LOMANDRA FILIFORMIS	
NOTE : FINAL PLANTING OF PLANTS TO BE IN ACCORDANCE WITH SUPPLIER'S CURRENT RECOMMENDED INSTRUCTIONS & SPACINGS.					

1 PROPOSED LANDSCAPE PLAN

1 : 200 @ A3



- LANDSCAPING NOTES**
- EXCAVATE TO A DEPTH OF 300mm, BREAK UP SUBGRADE A FURTHER 100mm AND BACKFILL WITH TOPSOIL MIXTURE. PROVIDE 1:100 FALL TO BASE OF BED WITH 100 PVC SUBSOIL DRAIN IN BLUE METAL CONNECTED TO ROOF AND YARD DRAINAGE SYSTEM.
  - PROVIDE HOSE COCKS FOR WATERING AT 30cm CENTRES
  - FAILURES TO BE REPLACED AND WEEDS REMOVED ON REGULAR BASIS.
  - PLANT STOCK TO BE OF GOOD QUALITY, HARDENED OFF, NOT ROOT BOUND AND WITH A LEADING SHOOT IF A TREE SPECIES, FREE OF PESTS AND DISEASE.
  - PLANTS TO BE SPACED TO ENSURE INTERLOCKING OF CANOPIES BY 10-20% FOR SHRUBS AND 30-40% FOR GROUND COVER.
  - MULCHING OF PLANTING BED TO BE 75mm THICK TAKING CARE TO CLEAR MULCH FROM STEMS.
  - SOIL TREATMENT: WHERE TOP SOIL HAS BEEN STRIPPED, APPLY GYPSUM 300g-m sq. AFTER REPLACING TOPSOIL TO 300mm DEEP, APPLY LIME AT 200g/m sq. AND ENSURE PH IS 5.5-6.5. APPLY A LOW 9NPKS FERTILISER AT 100g/m sq>.
  - AREAS INDICATED GRASSED TO BE ROTARY HOED THROUGH 100mm TOPSOIL AND FIRST QUALITY TURF TO BE ROLLED, TAMPED, WATERED AND TOP DRESSED. REMOVE IRREGULARITIES AND MOW AT FORTNIGHTLY INTERVALS.



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DEVELOPMENT APPLICATION

**NOT FOR CONSTRUCTION**

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REVISION A	DESCRIPTION DEVELOPMENT APPLICATION	DATE 06/12/2024	BRADLEY ST REDEVELOPMENT		PROPOSED LANDSCAPE PLAN		07/24		TL	
			CLIENT		LOT AND DEPOSITED PLAN NO.		DRAWING SCALE		DRAWN BY	
			YARRABEE PROPERTY GROUP PTY LTD		LOT 16 DP 1084067		As indicated		AH	
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				61 & 63 BRADLEY STREET GOULBURN		A3 SHEET		0624-1688		
						DRAWING IDENTIFICATION NUMBER		AMENDMENT ISSUE		
						A-30		A		

**TIM LEE ARCHITECTS**  
residential commercial industrial

P: 02 4822 5934  
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